




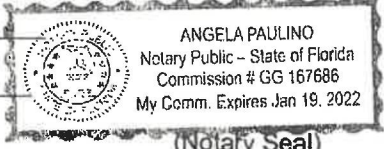
Project No: PM21-0029



# CITY OF PLANTATION PLANNING & ZONING BOARD APPLICATION

Please check appropriate request(s):

- Physical site development variance
- Administrative review of an order, requirement, decision, or determination

Project Name: <u>Lankti pergola CE-06473 / B21-02392</u>		
Property Address / Location: <u>10170 SW 1st St Plantation FL 33324</u>		
Property Legal Description: <u>Jacaranda Area 98196-50 B LOT 18 BLK 1</u>		
Zoning District: <u>RS-3K S</u>	Land Use Plan Designation: <u>01-Single family home</u>	Property Folio Number(s): <u>50-4107040180</u>
Description of Project: <u>Lankti pergola 14x14 pergola wood</u>		
Code Section subject to variance consideration or administrative review: <u>27-310(b)(1)</u>		
Property Owner of Record:		
Print name: <u>AVIAD LANKTI</u>		Signature: 
Corporation Name (if applicable): _____		
Address: <u>10170 SW 1st St</u>		City: <u>Plantation</u> State: <u>FL</u> Zip: <u>33324</u>
Phone: <u>954-5607032</u>	Fax: _____	Email: <u>AVI@Transvanlinse.com</u>
Do you authorize an agent to represent you in the processing of this application? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
STATE OF FLORIDA <u>Broward</u> COUNTY OF _____		
I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements appeared <u>Aviad Lankti</u> as the property owner, who is personally known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that he/she executed the same on behalf of the corporation, who produced his/her driver's license as identification, and who did not take an oath.		
WITNESS my hand and official seal this <u>25th</u> day of <u>June</u> , 20 <u>21</u>		
My commission expires: <u>1-19-2022</u>		
NOTARY PUBLIC, STATE OF FLORIDA <u>Angela Paulino</u> Printed Name of Notary		
My commission no. is: <u>GG167686</u>		

Development Building \* 401 NW 70 Terrace \* Plantation, FL 33317

954-797-2225

**Authorized Agent (if applicable):**

Print name: \_\_\_\_\_ Signature: \_\_\_\_\_

Corporation Name (if applicable): \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

STATE OF FLORIDA Broward  
COUNTY OF \_\_\_\_\_

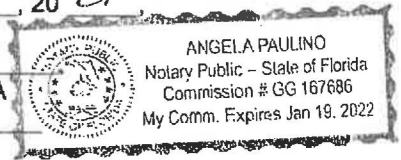
I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements appeared Aviad Lankri as authorized agent of \_\_\_\_\_ (Owner), who is personally known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that he/she executed the same on behalf of the corporation, who produced his/her driver's license as identification, and who did not take an oath.

WITNESS my hand and official seal this 25th day of June, 2021

My commission expires: 1-19-2022

NOTARY PUBLIC, STATE OF FLORIDA

Printed Name of Notary



(Notary Seal)

My commission no. is:

**Authorization for field inspections:**

I, Aviad Lankri (owner/agent) hereby give the City of Plantation authorization to conduct field inspections on the property represented in this application.

Print name: Aviad Lankri Signature: \_\_\_\_\_

**Other City department(s) action:**

Is this property the subject of code enforcement action by any City Department?  Yes  No

If yes, indicate code enforcement case number(s): CE-00473 / B21-02392

If yes, explain status of violation. Is the property owner working to bring the property into compliance?

**Pursuant to Section 27-46(3), the property owner of record requesting a variance is required to provide written responses to the following criteria demonstrating:**

**That special conditions and circumstances exist that are peculiar to the land, structure, or building involved which are not applicable to other lands, structures or building in the same district;**

None

**That the circumstances which cause the hardship are peculiar to the property, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the district;**

None

**That the literal interpretation of the provisions of this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this chapter;**

Not sure

**That the special conditions and circumstances do not result from the action of the applicant;**

~~None~~ None that I know off.

**That granting the variance requested will not be detrimental to adjacent property or adversely affected the public welfare;**

No, it will not

- **Please print/type application clearly. Incomplete or illegible applications will not be accepted.**
- An application fee of \$750 is required prior to processing the application.
- The application must be signed by the property owner and notarized.
- If the property owner authorizes an agent, the application must be signed by the agent and notarized.
- The application must include submittal of any additional information necessary for a complete and thorough review of the request such as a survey showing existing and proposed structures, existing and proposed site data calculations, existing or proposed sign locations, sign graphics showing sign size and color, required and provided parking calculations, building elevations, etc.
- The owner or authorized agent must be present at the meeting for the application to be considered.
- Zoning decision approval, as defined in Section 27-6 of the Code of Ordinances, shall be initially valid for a period of time not to exceed twelve (12) months from the date the decision is made. If the rights granted by the zoning decision are not exercised in the aforesaid twelve-month period of time by an application for a building permit to meet the requirement of Section 302.1 of the Florida Building Code, the decision shall become null and void.

Updated 10/16/19

Pursuant to Section 27-52(g)(2) the property owner of record requesting a Practical Difficulty Waiver is required to provide written responses to the following criteria.

Practical difficulty. If the application does not meet the undue hardship criteria, the application may be considered under the requirements of practical difficulty hardship. The following are the standards that must be met for consideration of whether a practical difficulty exists:

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JUL 14 2021

City of Plantation  
Planning, Zoning & Economic Development

a. The request shall not be substantial in relation to what is required by the Code; and I am referring you to my file with a letter from my neighbors with no objection to the Pergola or the set back.

b. The approval of the practical difficulty will be compatible with development patterns; and Shrub & Fencing help to compatible

c. The essential character of the neighborhood would be preserved; and Neighborhood is preserved

d. The request can be approved without causing substantial detriment to adjoining properties; and I have a letter signed by my neighbors with no objections.

e. The request is due to unique circumstances of the property, the property owner, and/or the applicant which would render conformity with the strict requirements of the Code unnecessarily burdensome.

When we bought the house in 2013 the decking and the pool was existing so the only place left to build the pergola it was the S.W corner in my yard.



RECEIVED  
JUN 25 2021  
Plantation  
Economic Development

**Via Hand Delivery**

June 22, 2021

City of Plantation  
Zoning Technician  
PZED Department

**Re: Letter of Intent  
PZB Variance -Lankri 10170 SW 1 St. (B21-02392)**

Dear Board Members,

I would like to appear before the Board to explain my shortcomings in regard to raising the Pergola on my property

Building the Pergola was my dream for many years, and I finally managed to save the money and found the time to build it during the Pandemic. I did some research online and understood that I can do the project under 'owner built' permit to be submitted afterwards and I totally missed the setback requirement. I sincerely apologize for my poor understanding. I have never intended to do it unlawfully or to hide the project from the city. I believed all I needed is the Home Association approval.

I worked hard on building it for couple of months, used the best products for safety, design and code, and thought I did everything right. I was wrong and I am very sorry.

The Pergola size is 14x14 it located in my backyard it's made from wood and the color is dark brown, I am asking to have a reduction on a set back code.

I kindly request your consideration and allowance regarding the setback. I will continue to provide you with all the documentation needed for approval. I hope you will forgive this oversight on my part and help me correct the status of my Pergola

Thank You.  
Sincerely,

  
Aviad Lankri

**Avi**

---

**From:** Avi <avi@transvanlines.com>  
**Sent:** Thursday, June 24, 2021 4:39 PM  
**To:** 'Inbar Laski (inbar@transvanlines.com)'  
**Subject:** RE: FW: PZB Variance - 10170 SW 1 ST (B21-02392)

**RECEIVED**  
JUN 25 2021  
City of Plantation  
Planning, Zoning & Economic Development

Good afternoon Avi, please see attached.

Reduce the required rear setback from 10 feet to 2 feet and 10 inches.  
Reduce the required side setback from 7.5 feet to 4 feet and 6 inches..

Best regards,

**Julian Sierra** | Project Manager



1985 S. Ocean Dr. Suite GL-3, Hallandale Beach, FL 33009  
|O| (954) 591-8361 Ext 704 |M| (786) 278-0800 |F| (954) 591-8361  
[Julian@NOHMIS.com](mailto:Julian@NOHMIS.com) | [NOHMIS.com](http://NOHMIS.com) | [Facebook](#) | [Twitter](#) | [LinkedIn](#)

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[bbb.org/reviews](http://bbb.org/reviews)



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**JACARANDA CAY HOMEOWNER'S ASSOCIATION**

P.O. Box 15502 Plantation, Florida 33318

June 25th, 2021

Inbar Laski  
10170 SW 1 Street  
Plantation, Florida 33324

ONE  
JUN 26 2021  
PLANTATION FLORIDA 33324

RE: Homeowner Association authorization to proceed with new rear yard pergola & summer kitchen.

Dear Inbar,

Thank you for providing the Jacaranda Cay Homeowner Association / Architectural Control Committee with the scope of work for your rear yard pergola & summer kitchen which is a 14' x 14' wood construction to be finished in a dark brown color and as more specifically described in the drawings attached hereto.

Please accept this letter as your authorization to proceed with the work as specified.

Please ensure the work is completed within 120 days from the date of this letter. Commercial work hours are from 8:00 AM – 5:00 PM Monday – Friday, 9:00 AM – 3:00 PM on Saturdays, and never on Sundays. For underground utilities, please remember to call an underground utility locator service before you dig.

Many kind regards,

*Alan F. Forgea, President*

Alan F. Forgea, President Jacaranda Cay Homeowner's Association &  
Chairman, Architectural Review Committee

electronically submitted 06.25.21

**RECEIVED**

JUN 26 2021

City of Plantation  
Planning, Zoning & Economic Development

Via Hand Delivery

City of Plantation  
Zoning Technician  
PZED Department

**Re: PZB Variance -Lankri 10170 SW 1 St. (B21-02392)**

Dear Madam/Sir,

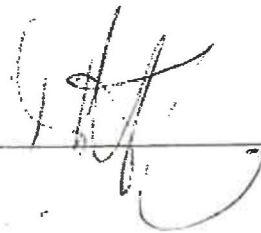
I, DANNY HUNG residing at 10180 SW 1<sup>ST</sup> ST. Plantation FL 333

and the neighbor of the Lankri family at 10170 SW 1<sup>st</sup> Street, Plantation, FL 33324, state the following:

Our families are good neighbors for the past 7 years. We share the same fence and property lines. Our family has no objections whatsoever to the Pergola raised on the Lankri's property. It causes us no harm or any disturbances, and we continue to enjoy our peaceful surrounding.

Thank You.  
Sincerely,

Signed:



Date:

6/22/21



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JUN 20 2021

City of Plantation  
Planning, Zoning & Economic Development

Via Hand Delivery

City of Plantation  
Zoning Technician  
PZED Department

**Re: PZB Variance -Lankri 10170 SW 1 St. (B21-02392)**

Dear Madam/Sir,

I, Edward Neville residing at 10181 SW 1<sup>st</sup> Ct., Plantation FL 33324

and the neighbor of the Lankri family at 10170 SW 1<sup>st</sup> Street, Plantation, FL 33324, state the following:

Our families are good neighbors for the past 7 years. We share the same fence and property lines. Our family has no objections whatsoever to the Pergola raised on the Lankri's property. It causes us no harm or any disturbances, and we continue to enjoy our peaceful surrounding.

Thank You.  
Sincerely,

Signed: \_\_\_\_\_



Date: \_\_\_\_\_

June 21, 2021

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JUN 24 2021

City of Plantation  
Planning, Zoning & Economic Development

Via Hand Delivery

City of Plantation  
Zoning Technician  
PZED Department

**Re: PZB Variance -Lankri 10170 SW 1 St. (B21-02392)**

Dear Madam/Sir,

I, Brandon Baggett residing at 10161 SW 1<sup>st</sup> Ct

and the neighbor of the Lankri family at 10170 SW 1<sup>st</sup> Street, Plantation, FL 33324, state the following:

Our families are good neighbors for the past 7 years. We share the same fence and property lines. Our family has no objections whatsoever to the Pergola raised on the Lankri's property. It causes us no harm or any disturbances, and we continue to enjoy our peaceful surrounding.

Thank You.  
Sincerely,

Signed:



Date:

6/24/2021

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JUN 24 2021

City of Plantation  
Planning, Zoning & Economic Development

Via Hand Delivery

City of Plantation  
Zoning Technician  
PZED Department

**Re: PZB Variance -Lankri 10170 SW 1 St. (B21-02392)**

Dear Madam/Sir,

I, Michael Ahern residing at 101 SW 101st Ter.

and the neighbor of the Lankri family at 10170 SW 1<sup>st</sup> Street, Plantation, FL 33324, state the following:

Our families are good neighbors for the past 7 years. We share the same fence and property lines. Our family has no objections whatsoever to the Pergola raised on the Lankri's property. It causes us no harm or any disturbances, and we continue to enjoy our peaceful surrounding.

Thank You.  
Sincerely,

Signed: Michael Ahern Date: 06/24/2021

RECEIVED

City of Plantation  
Planning, Zoning & Economic Development

**LEGEND**

- ☐ CABLE JUNCTION BOX
- ☐ CATCH BASIN
- CLEAN OUT
- ⊗ CONTROL VALVE
- ⊕ ELECTRIC SERVICE
- ⊕ FIRE HYDRANT
- ☐ FP&L PAD
- GUY ANCHOR
- ⊕ MANHOLE
- ☐ POOL EQUIPMENT
- POWER/LIGHT POLE
- ⊕ SPRINKLER SYSTEM
- ⊕ WATER METER
- ⊕ WATER VALVE
- ☐ WELL
- ▨ BRICK PAVERS
- CENTERLINE
- CONCRETE/CHAT
- CONCRETE WALL
- ELEVATION
- METAL FENCE
- OVERHEAD WIRES
- WOOD DECK/DOCK
- WOOD FENCE

- ABBREVIATIONS**
- BC BUILDING CORNER
  - BW BACK OF WALK
  - C CALCULATED
  - M MEASURED
  - N.T.S. NOT TO SCALE
  - OP OPEN PORCH
  - ORB OFFICIAL RECORDS BOOK
  - PC POINT OF CURVATURE
  - PBS POINT OF BEGINNING
  - POC POINT OF COMMENCEMENT
  - PRC POINT OF REVERSE CURVE
  - PRM PERMANENT REFERENCE MONUMENT
  - PT POINT OF TANGENCY
  - T/T END OF TIE
  - EP EDGE OF PAVEMENT
  - EW EDGE OF WATER
  - F/C FENCE CORNER
  - F/L FENCE LINE
  - FP FOUND IRON PIPE
  - FIR FOUND IRON ROD
  - FN FOUND NAIL
  - FN&D FOUND NAIL & DISC
  - FP&L FLORIDA POWER AND LIGHT
  - R RECORD
  - RD RADIAL
  - SN&D SET NAIL & DISC # 5495
  - SP SCREENED PORCH
  - SP&C SET 1/2" PIN & CAP # 9495
  - CNF CORNER NOT FOUND

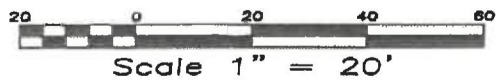
**LEGAL DESCRIPTION**  
LOT 18, BLOCK 1, JACARANDA AREA 981, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 96, PAGE(S) 50, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**CERTIFIED TO:**  
LASKI, INBAR H/E LANKRI, AVIAD

**PROPERTY ADDRESS**  
10170 SW 1ST STREET  
PLANTATION, FL 33324

**BOUNDARY SURVEY**  
INVOICE # 43030  
SURVEY DATE 04/14/21

**FLOOD ZONE X0.2%**  
MAP DATE 08/18/14  
MAP NUMBER 120054 0535H



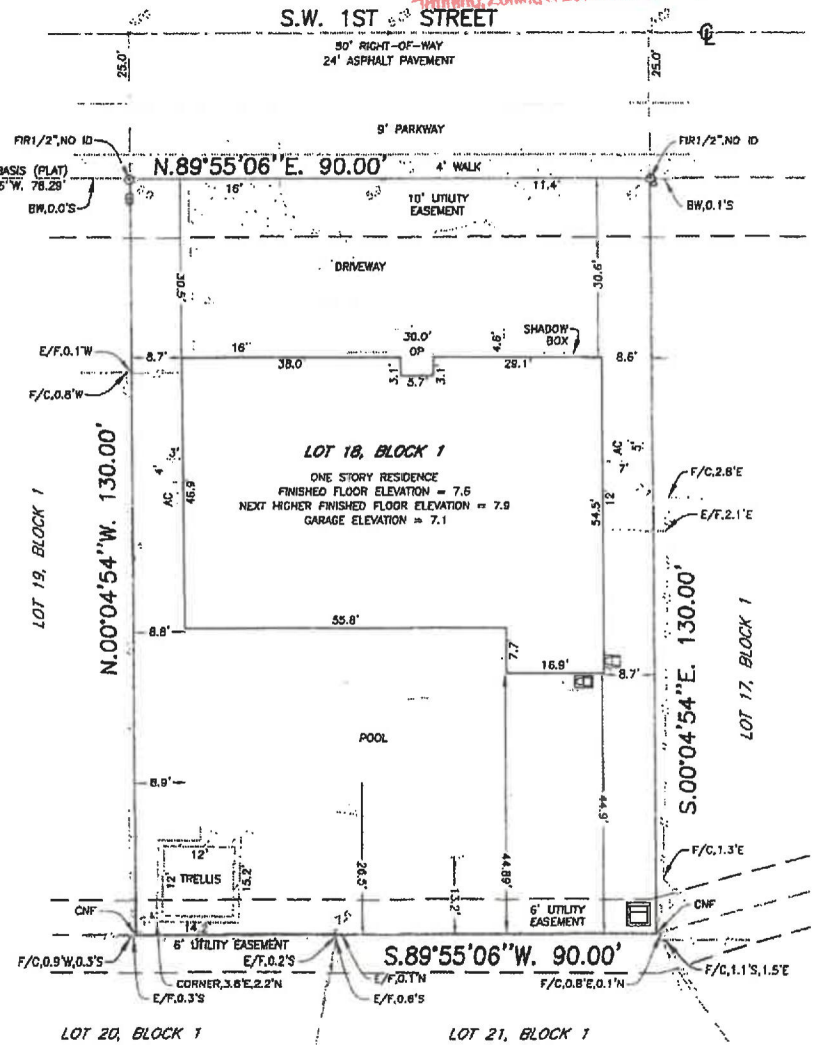
**SURVEYOR'S NOTES**

1. BASIS OF BEARINGS AS INDICATED ON SKETCH.
2. LEGAL DESCRIPTION PROVIDED BY CLIENT.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE SHOWN.
6. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
7. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
8. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
9. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7' WIDE UNLESS OTHERWISE NOTED.
10. EXISTING CORNERS FOUND OFF WITNESS PROPERTY CORNERS.
11. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
12. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THAN THOSE SHOWN HEREON.

**ATLANTIC COAST**  
SURVEYING, INC.

*Paul J. Stowell*

PAUL J. STOWELL  
PROFESSIONAL LAND SURVEYOR  
FLORIDA CERTIFICATION NO. 9241  
ATLANTIC COAST SURVEYING, INC.  
8129 STIRLING RD SUITE 2 DAVE, FLORIDA 33314  
OFFICE: 954.587.2100 FAX: 954.587.5415



LOT 19, BLOCK 1 | LOT 17, BLOCK 1 | LOT 20, BLOCK 1 | LOT 21, BLOCK 1



# LANKRI PERGOLA

## GENERAL WORK SCOPE

- ARCHITECTURAL:**  
1. AS-BUILT PERGOLA W/ OUTDOOR KITCHEN
- STRUCTURAL:**  
1. PERGOLA STRUCTURE
- ELECTRICAL:**  
1. BBO LIGHTS AND OUTLETS. MINOR SCOPE AS NOTED ON SITE PLAN.  
2. TO PROVIDE 20 AMP AFCI/GFCI FOR GENERAL OUTLETS & 15 AMP AFCI/GFCI FOR MINI FRIDGE. CONTRACTOR TO PROVIDE UNDERGROUND CONDUITS PER SIZING REQUIREMENTS.  
2.1. ADD 20 AMP CIRCUIT W/ #12 AWG WIRE IN 3/4" CONDUIT.  
2.2. ADD 15 AMP CIRCUIT W/ #14 AWG WIRE IN 3/4" CONDUIT.

- NOTES:**  
1. ALL MATERIALS SPECIFICATIONS NOTED ON THESE PLANS ARE TO BE USED OR PLACED WITH HIGHER RATED MATERIALS.  
2. NO ASBESTOS IS OBSERVED OR SHALL BE DISTURBED. IF ASBESTOS IS FOUND ON PROJECT, CONTRACTOR TO HIRE APPROPRIATE REMEDIATION AGENCY TO PROPERLY REMOVE AND DISPOSE OF CONTAMINATED MATERIAL.

## GENERAL CONSTRUCTION NOTES

- WORK SHALL INCLUDE ALL ITEMS AS INDICATED ON THIS SET OF DRAWINGS UNLESS NOTED OTHERWISE.
- PERMIT FEES, AS REQUIRED, SHALL BE PAID BY THE CONTRACTOR FOR THAT PORTION OF THE WORK.
- GENERAL CONTRACTOR SHALL MAINTAIN TEMPORARY ELECTRICAL, WATER, AND SANITARY FACILITIES AS REQUIRED FOR THE DURATION OF CONSTRUCTION.
- PRIOR TO STARTING WORK, THE GENERAL CONTRACTOR SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES IN THE PLANS, WRITTEN FIGURES INDICATING DIMENSIONS SHALL BE USED INSTEAD OF SCALING THE DRAWINGS. MEASUREMENTS BY SCALING SHALL NOT BE USED AS DIMENSIONS TO WORK. BY FIELD MEASUREMENTS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SHOP DRAWINGS MUST BE FIELD VERIFIED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL CODES, RULES AND REGULATIONS OR RESTRICTIONS HAVING JURISDICTION. GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY DESIGNER UPON THE OBSERVANCE OF ANY VARIATION BETWEEN THESE DOCUMENTS AND ANY APPLICABLE CODES OR ORDINANCES.
- ALL CONSTRUCTION MATERIALS SHALL BE NEW AND UNLESS OTHERWISE STATED ON THESE PLANS SHALL BEAR UNDERWRITER'S LABELS WHERE APPLICABLE.
- ALL PIERS, SUPPORTS, SHELING, FOUNDATIONS, ANCHOR BOLTS, HANGERS, WHICH ARE REQUIRED BY A SUBCONTRACTOR FOR THE SUPPORT OR HANGING OF THEIR EQUIPMENT SHALL BE SUPPLIED BY THE CONTRACTOR.
- FOR CONVENIENCE IN DESCRIPTION & AS A STANDARD FOR GRADE, TYPE, QUALITY AND PERFORMANCE CHARACTERISTICS, PROPRIETARY NAMES ARE INCLUDED WITH SOME DESCRIPTIONS. THIS DOES NOT IMPLY ANY PREFERENCE TO A PARTICULAR MANUFACTURER, BUT MINIMUM REQUIREMENTS, WITH FINAL DECISIONS BEING MADE BY THE OWNER AND DESIGNER.
- ARRANGE FOR SUITABLE STORAGE SPACES FOR MATERIALS TO PREVENT INCLUSION OF FOREIGN MATERIALS AND DELIVER AT SUCH TIMES AS NOT TO INTERFERE WITH OTHER OPERATIONS. MATERIALS ON SITE SHALL BE KEPT IN UNOPENED, ORIGINAL CONTAINERS OR PACKAGES THAT BEAR IDENTIFYING LABELS WHICH ARE NOT TO BE REMOVED UNTIL THEIR IMMEDIATE USE. PROTECT ALL MATERIALS FROM MINOR ABRASIONS AND HANDLE MASONRY PRODUCTS WITH CARE TO PREVENT CHIPPING AND DAMAGE.
- GENERAL CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM THE JOB SITE & LEAVE BUILDING BROOM CLEAN. ALL GLASS SHALL BE THOROUGHLY CLEANED AT COMPLETION OF WORK. ANY PAINT SPECKS & OTHER CONSTRUCTION MARKS SHALL BE REMOVED FROM ALL FINISHED SURFACES.
- GENERAL CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP TO BE FREE OF DEFECTS FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM THE DATE OF ACCEPTANCE. CORRECTION OF DEFECTS SHALL BE COMPLETED IN A TIMELY MANNER WITHOUT ADDITIONAL CHARGE. THIS SHALL INCLUDE ELEMENTS WHICH ARE DAMAGED BY SAID DEFECTS.
- ALL LUMBER (IF USED) SHALL BE DOUGLAS FIR WITH A MINIMUM FIBER STRESS OF 1,000 PSI, OR NO. 2 SOUTHERN PINE, UNLESS NOTED OTHERWISE. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- ALL METAL USED FOR CONNECTING WOOD MEMBERS SHALL BE GALVANIZED. ALL NAILS, BOLTS OR OTHER METAL CONNECTORS SHALL BE GALVANIZED OR SHALL BE CORROSION RESISTANT.

NOTE: USE OF THIS DRAWING IS ACKNOWLEDGEMENT THAT THE ENTIRE SET OF ARCHITECTURAL, PLUMBING, AND ELECTRICAL PLANS FOR THIS PROJECT SHALL BE CONSIDERED A SINGLE DOCUMENT AND MUST BE REVIEWED TOGETHER FOR CONSTRUCTION.

## SHEET LIST

- A-1 SITE PLAN & NOTES  
A-2 ARCHITECTURAL FLOOR PLAN & ELEVATIONS  
S-1 STRUCTURAL FLOOR PLANS & NOTES  
S-2 ELEVATIONS & DETAILS



## LOCATION MAP

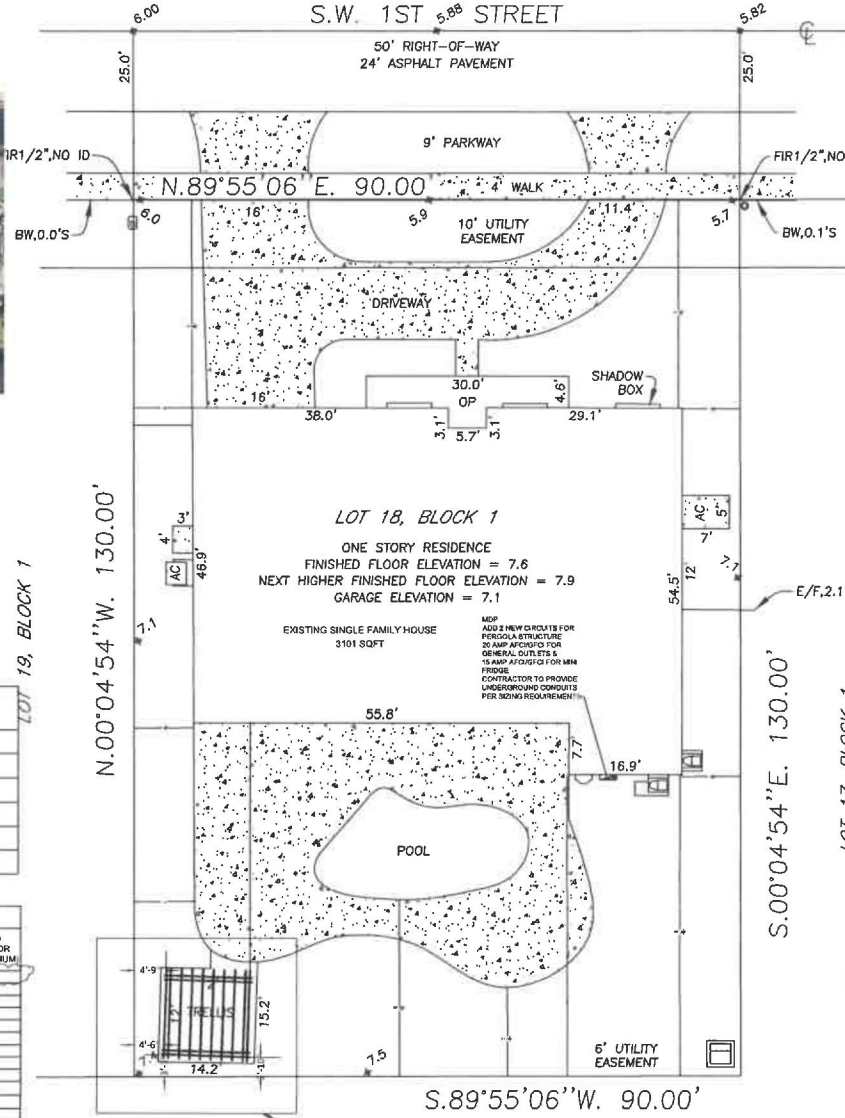
## DESIGN CRITERIA

- FLORIDA BUILDING CODE 2020 (7TH EDITION)
- N.E.C.-2017
- IFPEC 7TH EDITION
- TYPE Vb construction
- OCCUPANCY RESIDENTIAL GROUP R-3
- ADJACENT UNITS ARE OCCUPANCY RESIDENTIAL GROUP R-3
- LEVEL 2 ALTERATION

SYMBOLS LEGEND	
SYMBOL/MARK	DESCRIPTION
	DUPLEX RECEPTACLE
	QUAD RECEPTACLE
	GROUND FAULT INTERRUPTER
	ELECTRICAL PANEL
	METER

WIRE SIZES			
OCP	LINE AND NEUTRAL CONDUCTOR SIZE (COPPER)	GROUND CONDUCTOR SIZE (COPPER)	GROUND CONDUCTOR SIZE (ALUMINUM)
15	14	14	-
20	12	12	-
30	10	10	-
40	8	10	-
50	6	10	-
60	4	10	-
70	4	8	-
100	4	8	-
100	3	8	1
125	1	6	2/0
150	1/0	6	3/0
175	2/0	6	4/0
200	3/0	6	250
250	250	4	350

Digitally signed  
by Joseph Simhon  
Date: 2021.06.24  
'11:31:58 -04'00

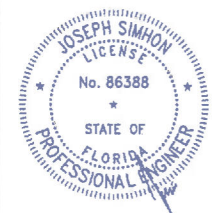


**SITE PLAN (FROM SURVEY)**  
1/16"=10"

MAIN SCOPE AREA AS BUILT PERGOLA STRUCTURE IS PERMEABLE TO WATER AND THEREFORE NO CHANGE IN PERVIOUS VS IMPVIOUS AREAS

# NOHMIS

1985 SOUTH OCEAN DR, STE GL-3  
HALLANDALE BEACH, FL 33009  
(954) 591-8361  
www.NOHMIS.com  
SERVICES@NOHMIS.com  
NOHMIS, LLC | CA33057



JOSEPH SIMHON, P.E.  
PROFESSIONAL ENGINEER  
FL. REG. # 86388  
JOE@NOHMIS.com

LANKRI PERGOLA	
10170 SW 1 ST PLANTATION, FL 33324	
JOB #: NOH21309	
DATE: 04/15/21	VERSION #1
DRAWN BY: JOS	CHECKED BY: JS
ISSUE: DRAWINGS FOR PERMIT	

PERMIT #:	
REVISION:	DATE:
COMMENTS	06/07/2021

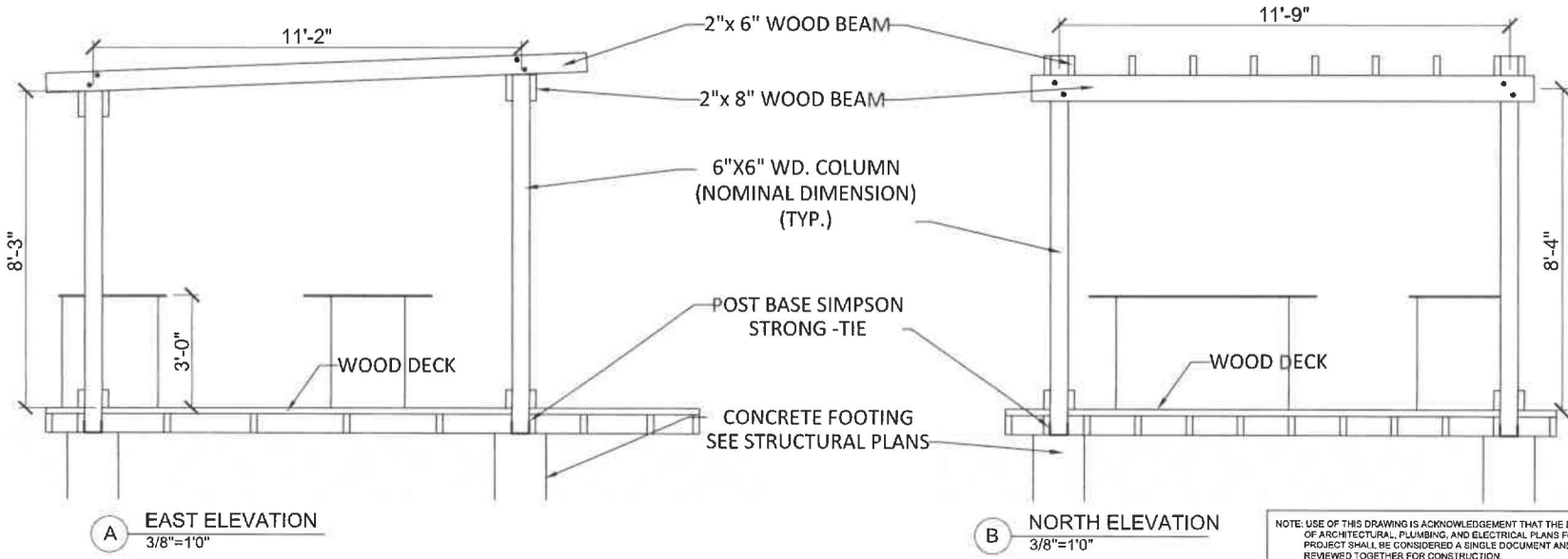
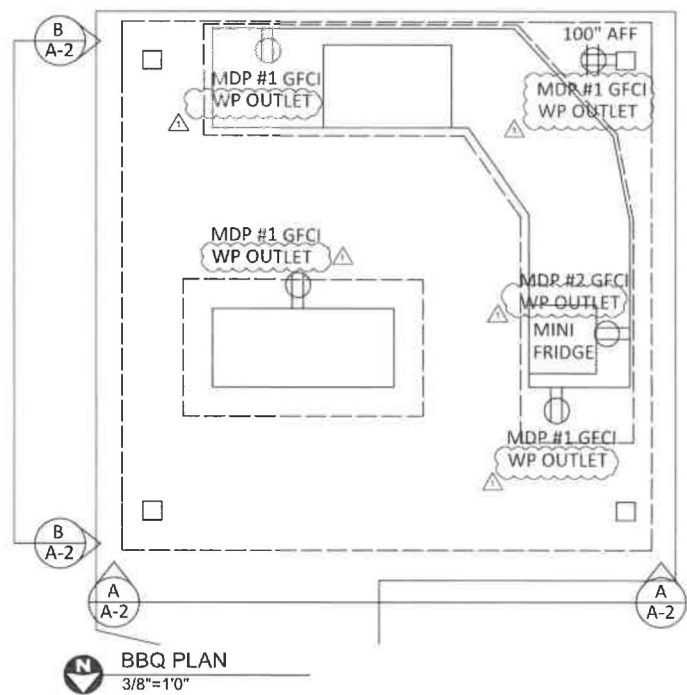
# A-1

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# ELECTRICAL NOTES:

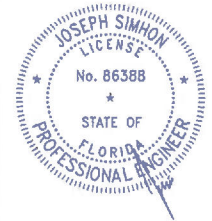
- ALL WORK SHALL BE PERFORMED AS PER APPLICABLE SECTIONS OF THE FLORIDA BUILDING CODE, SEVENTH EDITION (FBC), 2020 NATIONAL ELECTRIC CODE (NEC), FLORIDA FIRE PREVENTION CODE, SEVENTH EDITION (FFPC) AND THESE PLANS AND SPECIFICATIONS.
- MINIMUM WIRE SIZE SHALL BE #12 AWG, EXCLUDING CONTROL WIRING. UNLESS OTHERWISE NOTED ALL NEW CONDUCTORS SHALL BE COPPER WITH MC THIRTYTHREE INSULATION.
- WIRE SIZES SHALL BE INCREASED AS REQUIRED TO KEEP VOLTAGE DROP BELOW NEC MAXIMUMS. FOR INSTANCE, UNLESS MARKED OTHERWISE, ALL RECEPTACLES AND DEVICES ON 20A 120V CIRCUITS SHALL BE INTERCONNECTED WITH #12 & 18 1/2 GROUND. 120V CIRCUITS LESS THAN 100' TOTAL LENGTH SHALL HAVE HOMERUNS #12 MINIMUM AND BETWEEN 100 AND 150' TOTAL LENGTH SHALL HAVE HOMERUNS #10 MINIMUM. CONTRACTOR SHALL REPORT DISCREPANCIES TO ENGINEER AND MAKE ADJUSTMENTS AS REQUIRED, INCLUDING THE PLACEMENT OF ADDITIONAL TRANSFORMERS AND SUB-PANELS TO KEEP VOLTAGE DROP AT THE MOST REMOTE DEVICE TWO PERCENT MAXIMUM MEASURED FROM THE SERVICE LOCATION.
- OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
- DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK-MAKE, QUICK-BREAK ENCLOSURES AS REQUIRED BY EXPOSURE.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDING AS REQUIRED BY THE LATEST EDITION OF THE N.E.C.
- ALL OUTLETS IN SHOULD BE GROUNDING AS PER NEC 617.13.
- ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS' LABELS WHERE APPLICABLE.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIONAL AND ACCEPTED BY ENGINEER/ARCHITECT.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP TO BE FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.

- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY OR PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TESTING. SEPARATE PERMITS SHALL BE REQUIRED FOR FIRE ALARM, SECURITY, AND OTHER LOW VOLTAGE INSTALLATIONS.
- ALL RACEWAYS UNDERGROUND SHALL BE A MINIMUM OF 3" CONDUIT.
- ALL CIRCUIT BREAKERS, TWO AND THREE POLE, TO BE COMMON TRIP, NO TIE HANDLES, OR TANDEM WILL BE ACCEPTED.
- ALL FUSES, UNLESS NOTED ON DRAWING, SHALL BE CURRENT LIMITING FUSES (C.L.) RATED FOR 200,000 A.I.C.
- ALL NEW ELECTRICAL PANELS SHALL BE PROVIDED WITH COPPER BUS AND GROUND BARS.
- BRANCH CIRCUIT OCP SHALL CONFORM TO EQUIPMENT NAMEPLATE(S).
- CONTRACTOR SHALL PROVIDE TO THE BUILDING OWNER WITHIN 30 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE RECORD DRAWINGS OF THE ACTUAL ELECTRICAL INSTALLATION, INCLUDING A SINGLE LINE DIAGRAM OF THE BUILDING ELECTRICAL DISTRIBUTION SYSTEM AND FLOOR PLANS INDICATING LOCATION AND AREA SERVED FOR ALL DISTRIBUTION AS PER FBC EC C405.6.4.1.
- CONTRACTOR SHALL PROVIDE TO THE BUILDING OWNER AN OPERATING MANUAL AND MAINTENANCE MANUAL, INCLUDING SUBMITTAL DATA STATING EQUIPMENT RATING AND SELECTED OPTIONS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE, WITH CLEARLY IDENTIFIED REQUIRED ROUTINE MAINTENANCE ACTIONS AND NAMES AND ADDRESSES OF AT LEAST ONE QUALIFIED SERVICE AGENCY AS PER FBC EC C405.6.4.2 & C406.2.5.2.
- CONTRACTOR SHALL PROVIDE AND INSTALL LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, FOR ALL 120 VOLT, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN KITCHENS, BATHS, DWELLING UNIT FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOM, CLOSET, HALLWAYS, SIMILAR ROOMS OR AREAS, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT AS PER NEC 210.12.
- CONTRACTOR SHALL PROVIDE AND INSTALL LISTED TAMPER-RESISTANT RECEPTACLES FOR ALL 125 VOLT 15 AND 20 AMPERE RECEPTACLES AS PER NEC 406.12 FOR THE AREAS SPECIFIED IN NEC 210.52.



NOTE: USE OF THIS DRAWING IS ACKNOWLEDGEMENT THAT THE ENTIRE SET OF ARCHITECTURAL, PLUMBING, AND ELECTRICAL PLANS FOR THIS PROJECT SHALL BE CONSIDERED A SINGLE DOCUMENT AND MUST BE REVIEWED TOGETHER FOR CONSTRUCTION.

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LANKRI PERGOLA	DATE: 04 / 15 / 21	VERSION: #1	DRAWN BY: JDS	CHECKED BY: JS	ISSUE: DRAWINGS FOR PERMIT
10170 SW 1 ST PLANTATION, FL 33324 JOB #: NOH21309					

PERMIT #:	DATE:
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△ COMMENTS	06/07/2021
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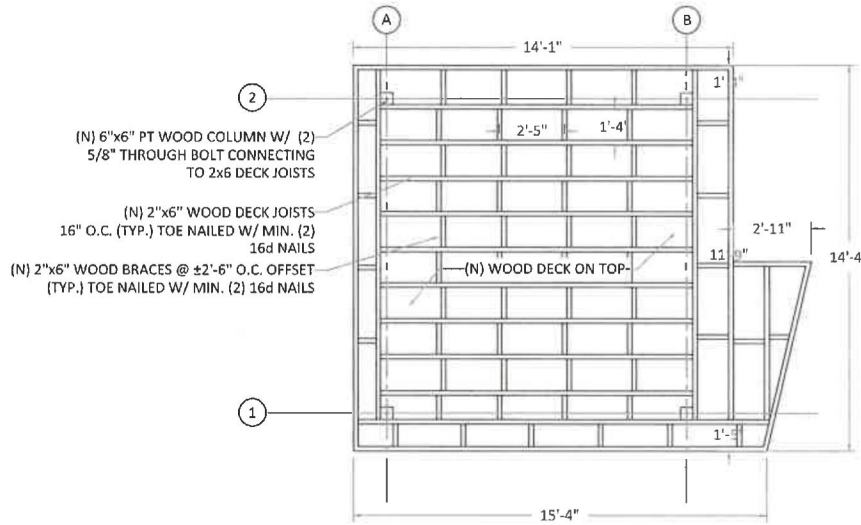
**A-2**

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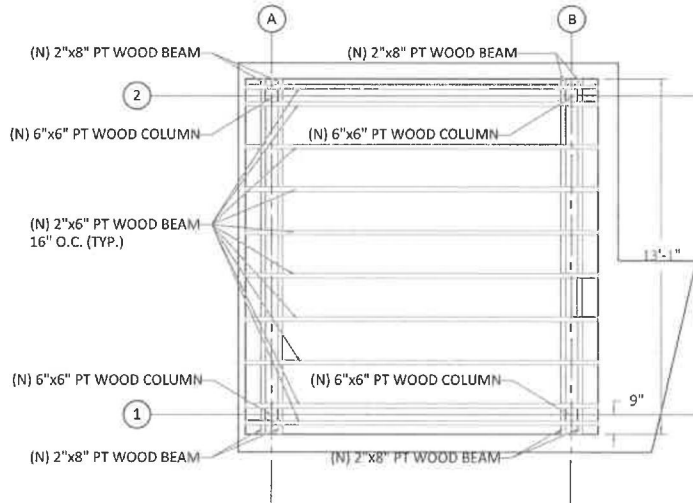


**LEGEND**

- (S) SECTION DETAIL MARK
- (E) OPENING MARK
- (E) EXISTING
- (N) NEW
- SS STRUCTURAL STEEL
- RC REINFORCED CONCRETE
- OGC ON CENTER
- W WITH
- EE EACH END
- FS FRAME SIZE
- FF FINISH FLOOR
- (S) SMOKE DETECTOR
- (E) ELECTRIC PANEL
- (S) SWITCH
- (E) ELECTRIC OUTLET
- (S) WALL LIGHT FIXTURE
- (S) LIGHT FIXTURE
- (E) GEN. WALL / RC WALL
- (E) FIREWALL (1HR)



**2** STRUCTURAL FLOOR PLAN  
1/4" = 1'



**2** STRUCTURAL PERGOLA PLAN  
1/4" = 1'

**SCOPE OF WORK**

1. PERGOLA FOR BBQ AREA.
2. WOOD DECK.

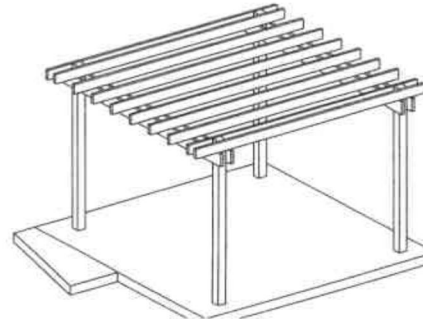
**NOTES:**

1. ALL WORK TO BE DONE BY LICENSED PERSONNEL AFTER OBTAINING APPROPRIATE PERMITS, PURSUANT TO ALL OSHA REQUIREMENTS.
2. CONCRETE COMPRESSIVE STRENGTH SHALL BE A MIN. OF 3000 PSI.
3. TIMBER COMPRESSIVE STRENGTH SHALL BE A MIN. OF 1000 PSI AND SHALL BE IN ACCORDANCE WITH NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION.
4. IN THE EVENT OF ANY DISCREPANCY OR DISTRESS NOTED DURING CONSTRUCTION OPERATIONS, THE ENGINEER SHOULD BE NOTIFIED, IMMEDIATELY FOR RESOLUTION AND APPROPRIATE MODIFICATIONS TO THESE RECOMMENDATIONS, THAT THE ENGINEER DEEMS NECESSARY.
5. CONTRACTOR TO INSPECT & VERIFY THAT OTHER AREAS OF THE STRUCTURE INCLUDING AREAS OUTSIDE OF WORK SCOPE ARE IN GOOD CONDITION AND DOES NOT REQUIRE ADDITIONAL REPAIRS.
6. SUPPLEMENTAL SUPPORTS & SHORE POSTS MUST BE INSTALLED BEFORE CUTTING OR REMOVING ANY MEMBER.
7. CONTRACTOR TO VERIFY THAT FOUNDATION SOILS HAVE A MIN. SAFE BEARING CAPACITY OF 2000 PSF.
8. CMU WALL OPENING SHALL BE FILLED W/ 3000 PSI NON-SHRINK GROUT AND REINFORCEMENT PLACED AT SPECIFIED LOCATIONS PER PLAN HERE.
9. SUPPORT REACTION ARE 1800 LB FOR GRAVITY AND 755 LB FOR UPLIFT.
10. IF FILLED CELL ALREADY EXISTS THE CONTRACTOR TO CONFIRM SIZING TO MEET REQUIREMENTS.

**DESIGN CRITERIA**

1. APPLICABLE STANDARDS OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS); AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC); & THE AMERICAN CONCRETE INSTITUTE (ACI) INCLUDING, BUT NOT LIMITED TO ACI 315 AND ACI 318.

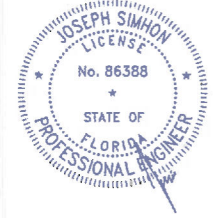
THE DESIGN PARAMETERS USED ARE:  
 CATEGORY II; EXPOSURE C,  
 WIND VELOCITY 164 MPH;  
 LIVE ROOF LOAD 20 PSF;  
 DEAD LOAD 5 PSF;  
 WIND PRESSURE +51 PSF, -47 PSF



**PERSPECTIVE**  
3/16" = 1'

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5/18/21

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LANKRI PERGOLA

10170 SW 1 ST  
 PLANTATION, FL 33324  
 JOB #: NOH21309

DATE: 04/15/21 VERSION #1

DRAWN BY: JOS CHECKED BY: JS

ISSUE: DRAWINGS FOR PERMIT

PERMIT #:

REVISION:

DATE:

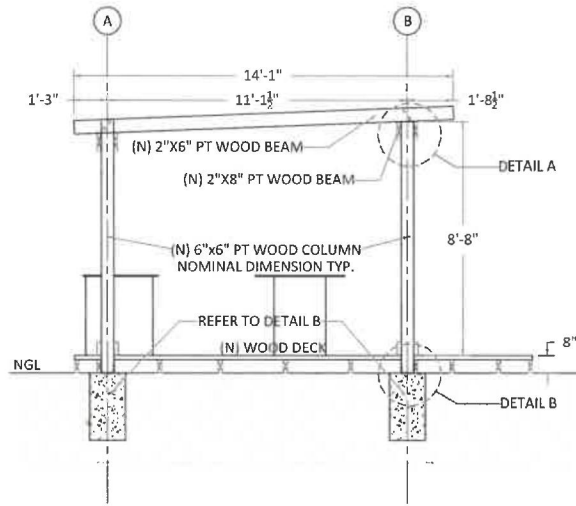


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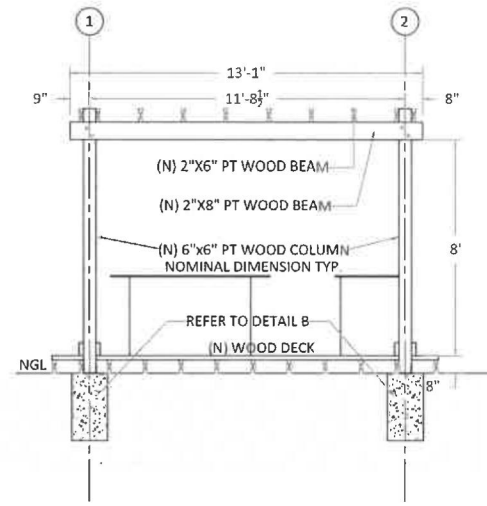
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- (E) ELECTRIC OUTLET
- (S) WALL LIGHT FIXTURE
- (S) LIGHT FIXTURE
- (E) GEN. WALL / RC WALL
- (E) FIREWALL (THR)



**1** ELEVATION ALONG GRID 1  
1/4" = 1'



**2** ELEVATION ALONG GRID A  
1/4" = 1'

**GENERAL NOTES**

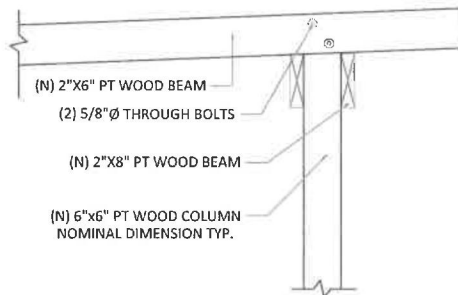
1. ALL WORK MUST COMPLY WITH THE FLORIDA BUILDING CODE, SEVENTH EDITION (2020) AND APPLICABLE STANDARDS OF THE AMERICAN CONCRETE INSTITUTE (ACI) INCLUDING, BUT NOT LIMITED TO ACI 315 AND ACI 318.
2. ALL WORK TO BE DONE BY LICENSED PERSONNEL AFTER OBTAINING APPROPRIATE PERMITS, PURSUANT TO ALL OSHA REQUIREMENTS.
3. CONCRETE COMPRESSIVE STRENGTH SHALL BE A MIN. OF 3000 PSI.
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7. SUPPLEMENTAL SUPPORTS & SHORE POSTS MUST BE INSTALLED BEFORE CUTTING OR REMOVING ANY MEMBER.
8. CONTRACTOR TO VERIFY THAT FOUNDATION SOILS HAVE A MIN. SAFE BEARING CAPACITY OF 2,000 PSF.
9. CMU WALL OPENINGS SHALL BE FILLED W/ 3000 PSI NON-SHRINK GROUT AND REINFORCEMENT PLACED AT SPECIFIED LOCATIONS PER PLAN HERE.
10. IF FILLED CELL ALREADY EXISTS THE CONTRACTOR TO CONFIRM SIZING TO MEET REQUIREMENTS.
11. STEEL MEMBERS EXPOSED TO THE ELEMENTS SHALL BE PROTECTED WITH ANTI-CORROSION COATING.
12. REINFORCEMENT STEEL SHALL BE MIN. 60 KSI AND PLACED IN ACCORDANCE W/ CRSI.
13. WHERE REQUIRED USE HILTY HIT-HY 200 ADHESIVE ANCHORING SYSTEM.
14. ANY DAMAGED CMU OR CONCRETE WALLS TO BE REPAIRED BACK TO ORIGINAL OR BETTER CONDITION AND CONTRACTOR TO ENSURE PROPER WATERPROOFING TO PROTECT THE STRUCTURAL SYSTEM.

**CONCRETE:**  
TO BE A MIX DESIGNED IN ACCORDANCE WITH ASTM C94 STRENGTH AS STATED BELOW, AT 28 DAYS, WITH A PLASTIC AND WORKABLE MIX, A CERTIFICATE OF MANUFACTURERS MIX AND STRENGTH IS TO BE PROVIDED. NO WATER TO BE ADDED AFTER TRUCK LEAVES PLANT WITHOUT APPROVAL OF ENGINEER OR PLANT ENGINEER. PLANT CONTROL IS REQUIRED. MAXIMUM MIX TIME AT POINT OF DEPARTURE IS 90 MINUTES. FC 4000 PSI, W/C = .2.

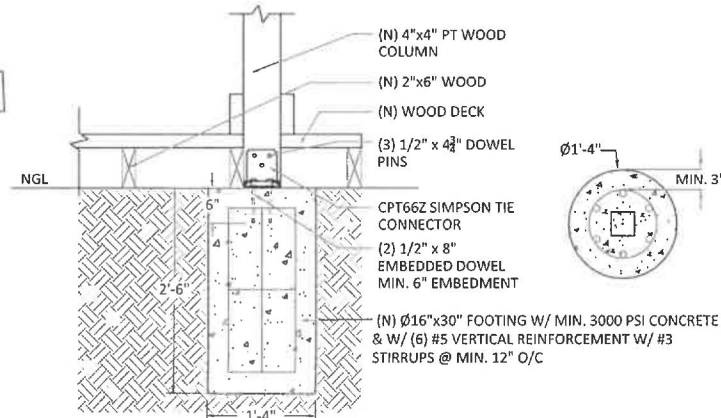
**REINFORCING STEEL:**  
BARS TO BE ASTM A615 GRADE 60 (UNLESS NOTED OTHERWISE). FREE FROM OIL, LOOSE SCALE AND LOOSE RUST AND BENT, LAPPED (MIN 48 BAR Ø), PLACED, SUPPORTED AND FASTENED ACCORDING TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES (ACI 315-88) AND THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-14). SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW. WELDED WIRE MESH SHALL CONFORM TO STTM A165-81A. ADD 1/2" COVER TO MIN. REQUIREMENT. FOLLOWING CONCRETE COVER REQUIREMENTS PER ACI. FOUNDATIONS HAVE MIN. 3" COVER. EXPOSED BEAMS, SLABS & COLUMNS MIN. 2" OF COVER. AND INTERIOR CONCRETE ELEMENTS MAY HAVE 1 1/2" OF COVER.

ALL BAR SPLICES SHALL BE 36 BAR DIAMETER.

15.



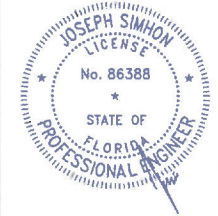
**3** DETAIL A  
3/4" = 1'



**4** DETAIL B  
3/4" = 1'

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LANKRI PERGOLA	DATE: 04/15/21	VERSION: 1
10170 SW 1 ST	DRAWN BY: JOS	CHECKED BY: JS
PLANTATION, FL 33324	ISSUE: DRAWINGS FOR PERMIT	
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**S-2**

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