

"PLANTATION SHELL CIRCLE K"

A REPLAT OF A PORTION OF TRACT 8, OF "FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION NO. 1",
IN SECTION 1, TOWNSHIP 50 SOUTH, RANGE 41 EAST,
RECORDED IN PLAT BOOK 2, PAGE 17, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA
CITY OF PLANTATION, BROWARD COUNTY, FLORIDA

PLAT BOOK ____ PG. ____
SHEET 1 OF 2 SHEETS

LEGAL DESCRIPTION:

A PORTION OF THE SOUTH 185 FEET OF THE EAST 185 FEET OF TRACT B, AS MEASURED ALONG THE EAST AND SOUTH LINES OF SAID TRACT B, OF "FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION NO. 1", IN SECTION 1, TOWNSHIP 50 SOUTH, RANGE 41 EAST, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 17, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF TRACT B, "MARIN SUBDIVISION NUMBER ONE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 70, PAGE 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE NORTH 02°24'38" WEST ON THE EAST LINE OF SAID TRACT B ALSO BEING THE WEST LINE OF THE EAST 185 FEET OF SAID TRACT B AS MEASURED ALONG THE SOUTH LINE 175.00 FEET TO THE NORTHEAST CORNER OF SAID TRACT B ALSO BEING A POINT ON THE SOUTH LINE OF TRACT A OF "MARIN SUBDIVISION NUMBER ONE"; THENCE NORTH 89°27'53" EAST ON SAID SOUTH LINE ALSO BEING THE NORTH LINE OF THE SOUTH 185 FEET OF SAID TRACT B, AS MEASURED ALONG THE EAST LINE 149.99 FEET TO THE SOUTHEAST CORNER OF SAID TRACT A, "MARIN SUBDIVISION NUMBER ONE", SAID POINT BEING ON THE WEST RIGHT-OF-WAY LINE OF STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441) PER RESOLUTION NO. 4-V-85 RECORDED IN DEED BOOK 211, PAGE 87, OF SAID PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE SOUTH 02°24'38" EAST ON SAID WEST RIGHT-OF-WAY LINE ALSO BEING THE WEST LINE OF THE EAST 35.00 FEET OF SAID TRACT B FOR 149.19 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE, CONCAVE NORTHWESTERLY; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 91°53'19", FOR AN ARC LENGTH OF 40.09 FEET TO A POINT OF TANGENCY ON THE NORTH LINE OF THE SOUTH 10.00 FEET OF SAID TRACT B AND THE NORTH RIGHT-OF-WAY LINE OF NW 5TH STREET; THENCE SOUTH 89°28'42" WEST ON SAID NORTH LINE AND SAID NORTH RIGHT-OF-WAY LINE 124.15 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF PLANTATION, BROWARD COUNTY, FLORIDA, CONTAINING 26,090 SQUARE FEET (0.5889 ACRES), MORE OR LESS.

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS: THAT LAKE WORTH PROPERTY ENTERPRISES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, THE OWNER OF THE LANDS DESCRIBED HEREON, HAS CAUSED SAID LANDS TO BE PLATTED AS SHOWN HEREON, AND TO BE KNOWN AS "PLANTATION SHELL CIRCLE K", A REPLAT.

PARCEL "RW" (RIGHT-OF-WAY PARCEL) AS SHOWN HEREON, IS HEREBY DEDICATED TO THE PUBLIC FOR PROPER PURPOSES.

IN WITNESS WHEREOF: SAID LAKE WORTH PROPERTY ENTERPRISES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED FOR AND ON ITS BEHALF BY _____ ITS _____ DAY OF _____ 202__

WITNESS: _____ LAKE WORTH PROPERTY ENTERPRISES, LLC,
A FLORIDA LIMITED LIABILITY COMPANY
PRINT NAME: _____
BY: _____
WITNESS: _____ PRINT NAME: _____
PRINT NAME: _____ TITLE: _____

ACKNOWLEDGMENT:

STATE OF FLORIDA)
COUNTY OF _____) s.s.
I HEREBY CERTIFY: THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME, AN OFFICER DULY AUTHORIZED TO ADMINISTER OATHS AND TAKE ACKNOWLEDGMENTS, _____ OF LAKE WORTH PROPERTY ENTERPRISES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, TO ME WELL KNOWN TO BE THE PERSON DESCRIBED IN AND WHO ACKNOWLEDGED BEFORE ME THAT HE EXECUTED THE SAME FREELY AND VOLUNTARILY ON BEHALF OF SAID COMPANY FOR THE USES AND PURPOSES THEREIN EXPRESSED, AND DID NOT TAKE AN OATH.

WITNESS: MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____ 202__

COMMISSION NUMBER: _____ NOTARY PUBLIC, STATE OF FLORIDA
MY COMMISSION EXPIRES: _____ PRINT NAME: _____

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LAND RECENTLY SURVEYED, SUBDIVIDED AND PREPARED UNDER MY DIRECTION AND SUPERVISION, THAT THE SURVEY DATA COMPLIES WITH ALL OF THE APPLICABLE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, AND THAT THE PERMANENT REFERENCE MONUMENTS (P.R.M.'S) WERE SET IN ACCORDANCE WITH SAID CHAPTER 177.

DATE: _____
BETH BURNS
PROFESSIONAL SURVEYOR AND MAPPER NO. LS6136
STATE OF FLORIDA
PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
CERTIFICATE OF AUTHORIZATION NUMBER LB3070

PREPARED BY

PULICE LAND SURVEYORS, INC.

5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
954-572-1777
FAX NO. 954-572-1778
OCTOBER, 2020



LOCATION MAP
NOT TO SCALE



CITY OF PLANTATION CITY COUNCIL:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD BY THE CITY COUNCIL OF THE CITY OF PLANTATION, FLORIDA, IN AND BY RESOLUTION NO. _____, ADOPTED BY THE SAID CITY COUNCIL THIS _____ DAY OF _____, 202__.

ALL APPLICATION, CONCURRENCY, IMPACT FEES FOR THE CONSTRUCTION, EXPANSION, AND/OR CONVERSION OF A BUILDING WITHIN THIS PLAT SHALL BE PAID ON THE DATE OF BUILDING PERMIT ISSUANCE.

ATTEST: _____ ON THIS _____ DAY OF _____, 202__
CITY CLERK

BY: _____ ON THIS _____ DAY OF _____, 202__
MAYOR

CITY OF PLANTATION CITY ENGINEER:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD BY THE CITY ENGINEER OF THE CITY OF PLANTATION, FLORIDA, ON THIS _____ DAY OF _____, 202__.

BY: _____ ON THIS _____ DAY OF _____, 202__
CITY ENGINEER

CITY OF PLANTATION CITY REVIEW COMMITTEE:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD BY THE CITY REVIEW COMMITTEE OF THE CITY OF PLANTATION, FLORIDA, THIS _____ DAY OF _____, 202__.

BY: _____ ON THIS _____ DAY OF _____, 202__
CHAIRMAN

BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD.

BY: _____ DATE: _____
DIRECTOR/DESIGNEE

BROWARD COUNTY PLANNING COUNCIL:

THIS IS TO CERTIFY: THAT THE BROWARD COUNTY PLANNING COUNCIL APPROVED THIS PLAT SUBJECT TO ITS COMPLIANCE WITH THE DEDICATION OF RIGHTS-OF-WAY FOR TRAFFICWAYS THIS _____ DAY OF _____, 202__.

BY: _____
CHAIRPERSON

THIS PLAT COMPLIES WITH THE APPROVAL OF THE BROWARD COUNTY PLANNING COUNCIL OF THE ABOVE DATE AND IS APPROVED AND ACCEPTED FOR RECORD THIS _____ DAY OF _____, A.D. 20__.

BY: _____
EXECUTIVE DIRECTOR OR DESIGNEE

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION - MINUTES SECTION:

THIS IS TO CERTIFY: THAT THIS PLAT COMPLIES WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES, AND WAS ACCEPTED FOR RECORD BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, THIS _____ DAY OF _____, 202__.

BY: _____
MAYOR, COUNTY COMMISSION

BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY WITH CHAPTER 177, PART 1, FLORIDA STATUTES AND APPROVED FOR RECORD.

BY: _____ DATE: _____
ROBERT P. LEGG, JR.,
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. LS4030

BY: _____ DATE: _____
ALJANDRO S. PEREZ
ACTING COUNTY ENGINEER
FLORIDA PROFESSIONAL ENGINEER
REGISTRATION NO. 33217

PLATTING SURVEYOR	CITY CLERK	CITY ENGINEER	COUNTY SURVEYOR	COUNTY ENGINEER

PLANNING FILE NO. 000-MP-20

"PLANTATION SHELL CIRCLE K"

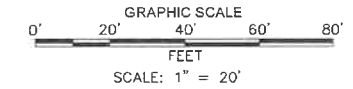
A REPLAT OF A PORTION OF TRACT 8, OF "FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION NO. 1",
IN SECTION 1, TOWNSHIP 50 SOUTH, RANGE 41 EAST,
RECORDED IN PLAT BOOK 2, PAGE 17, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA
CITY OF PLANTATION, BROWARD COUNTY, FLORIDA

PLAT BOOK ____ PG. ____
SHEET 2 OF 2 SHEETS

PREPARED BY
PULICE LAND SURVEYORS, INC.

5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
954-572-1777
FAX NO. 954-572-1778
OCTOBER, 2020

SUNRISE BOULEVARD
TOWNSHIP 49 SOUTH 36
TOWNSHIP 50 SOUTH 6



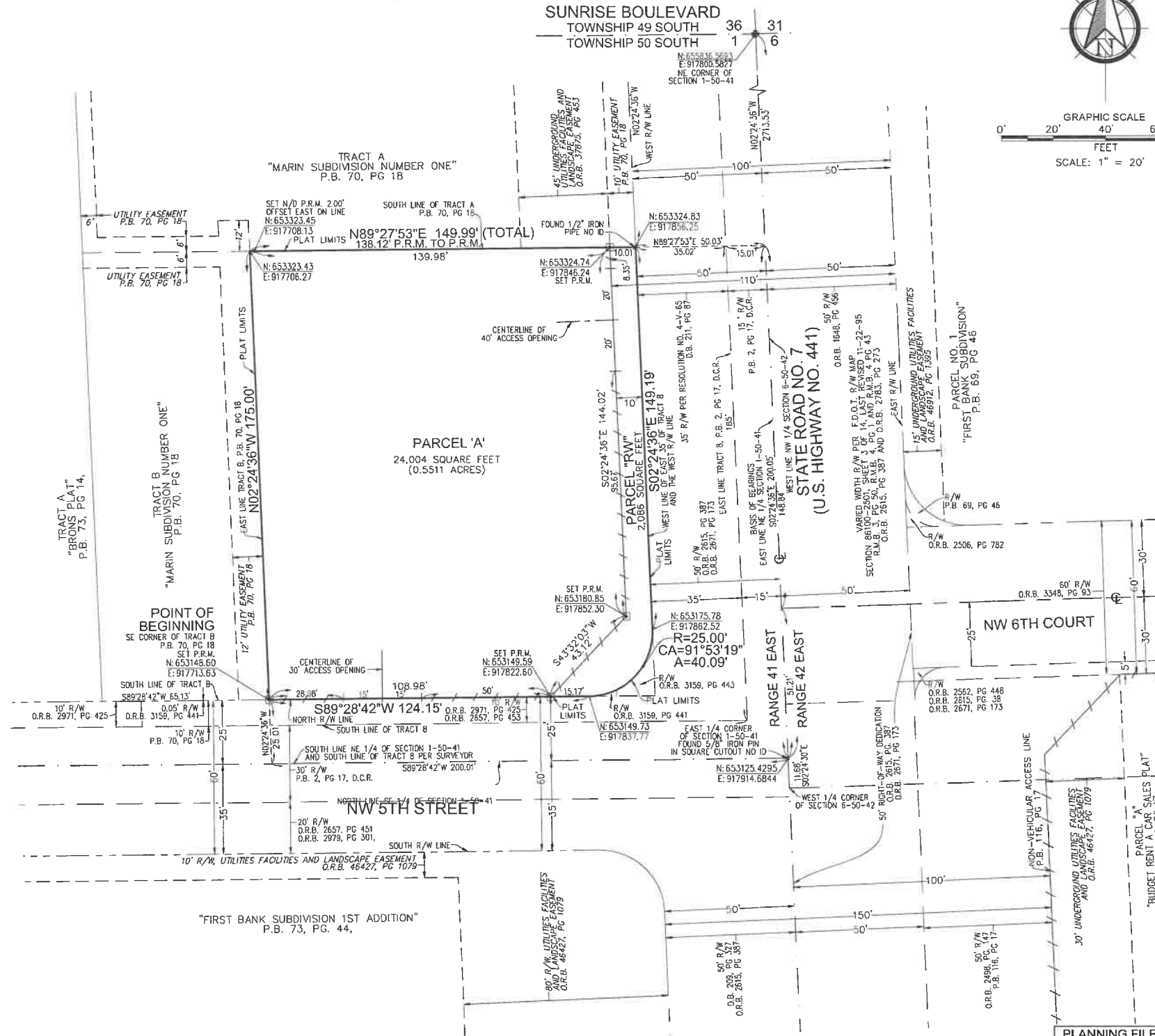
SURVEYOR'S NOTES:

- THIS PLAT IS RESTRICTED TO A CONVENIENCE STORE/SERVICE STATION WITH 8 FUELING POSITIONS, NO FREE STANDING BANKS OR DRIVE-THRU BANK FACILITIES ARE PERMITTED WITHOUT THE APPROVAL OF THE BOARD OF COUNTY COMMISSIONERS WHO SHALL REVIEW AND ADDRESS THESE USES FOR INCREASED IMPACTS.

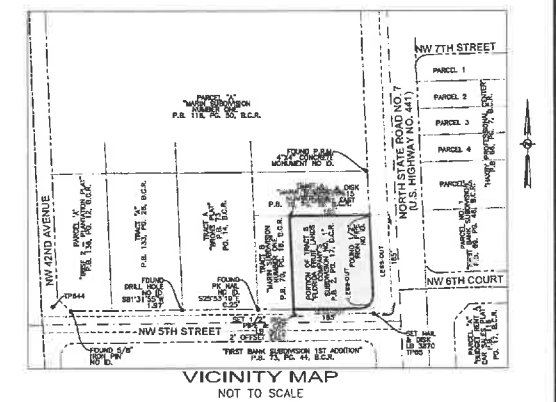
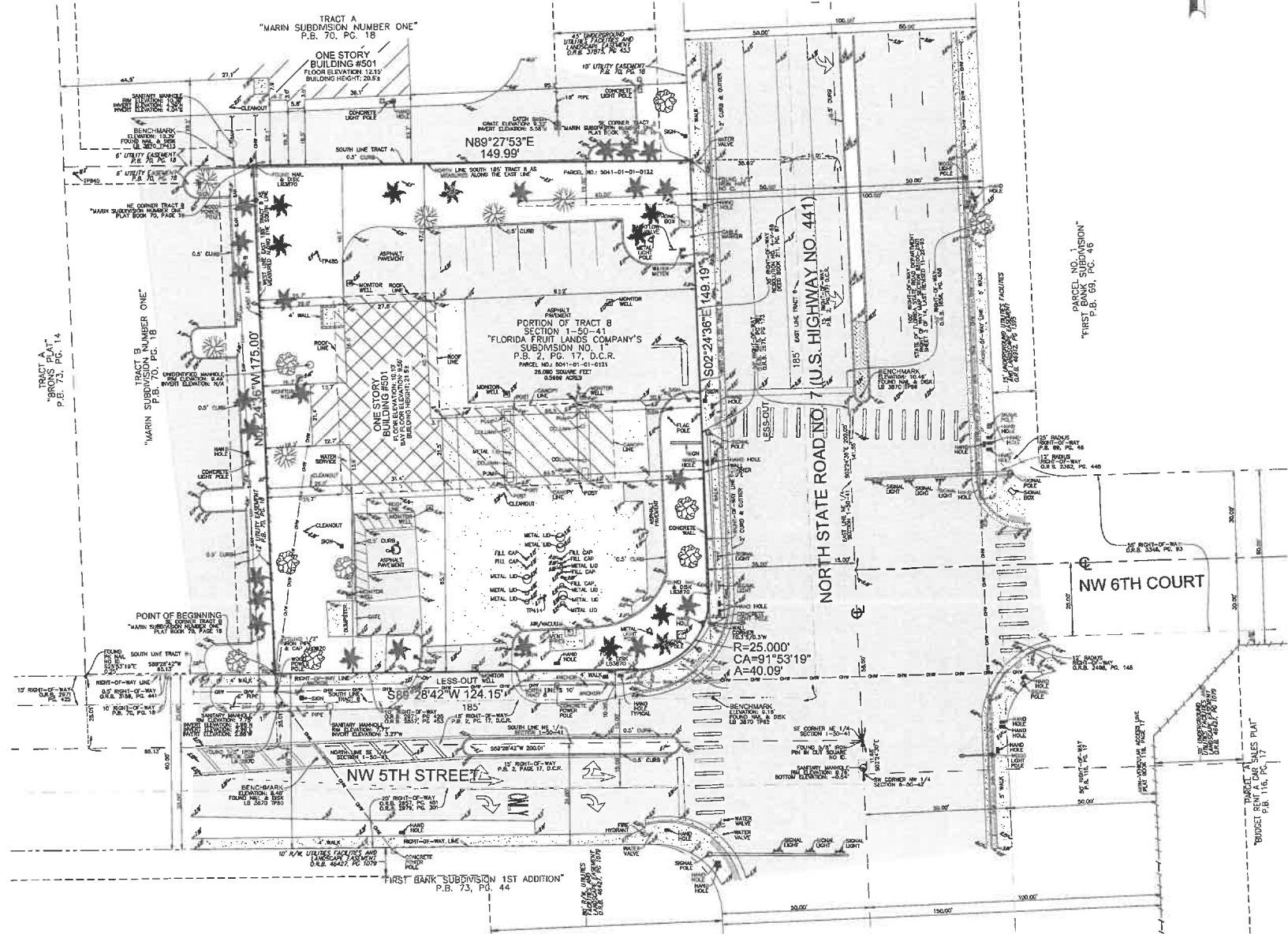
THIS NOTE IS REQUIRED BY CHAPTER 5, ARTICLE IX, BROWARD COUNTY CODE OF ORDINANCES, AND MAY BE AMENDED BY APPROVAL OF THE BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS. THE NOTATION AND ANY AMENDMENTS THERE TO ARE SOLELY INDICATING THE APPROVED DEVELOPMENT LEVEL FOR PROPERTY LOCATED WITHIN THE PLAT AND DO NOT OPERATE AS A RESTRICTION IN FAVOR OF ANY PROPERTY OWNER INCLUDING AN OWNER OR OWNERS OF PROPERTY WITHIN THIS PLAT WHO TOOK TITLE TO THE PROPERTY WITH REFERENCE TO THIS PLAT.
- ANY STRUCTURE WITHIN THIS PLAT MUST COMPLY WITH SECTION IV D.L.F., DEVELOPMENT REVIEW REQUIREMENTS, OF THE BROWARD COUNTY LAND USE PLAN, REGARDING HAZARDS TO AIR NAVIGATION.
- THE STATE PLANE COORDINATES AND GRID BEARINGS SHOWN HEREON WERE BASED ON THE NORTH AMERICAN DATUM OF 1927 COORDINATE VALUES SHOWN ON THE STOMER/KEITH RESURVEY NO. II ALL OF TOWNSHIP 50 SOUTH RANGE 41 EAST, AND THE HIATUS LYING BETWEEN RANGE 40 EAST, AND RANGE 41 EAST IN TOWNSHIP 50 SOUTH (MISCELLANEOUS PLAT BOOK 5, PAGE 9) AND AS TRANSFORMED TO THE NORTH AMERICAN DATUM OF 1983, WITH THE 1990 ADJUSTMENT. REFERENCE LINE BEING THE EAST LINE OF THE NE 1/4 OF SECTION 1, TOWNSHIP 50 SOUTH, RANGE 41 EAST BEING N02°24'36"W.
- THE FOLLOWING NOTE IS REQUIRED BY THE BROWARD COUNTY SURVEYOR PURSUANT TO CHAPTER 777.091, SUBSECTION (26), FLORIDA STATUTES. PLATTED UTILITY EASEMENTS ARE ALSO EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS NOTE DOES NOT APPLY TO PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRIC SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
- NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHICAL OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- ALL RECORDED DOCUMENTS ARE PER THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA UNLESS OTHERWISE NOTED.

LEGEND:

- P.R.M. □ = PERMANENT REFERENCE MONUMENT
(4" X 4" X 24" CONCRETE MONUMENT WITH 2" 2" ALUMINUM DISK STAMPED "P.R.M. LB3870" UNLESS OTHERWISE NOTED)
- N/D P.R.M. ● = PERMANENT REFERENCE MONUMENT
(MAG NAIL WITH 1.2" BRASS WASHER STAMPED "P.R.M. LB3870")
- LB = LICENSED BUSINESS
- D.C.R. = DADE COUNTY RECORDS
- P.B. = PLAT BOOK
- CL = CENTERLINE
- (M) = FIELD MEASURED
- / — = NON-VEHICULAR ACCESS LINE
- O.R.B. = OFFICIAL RECORDS BOOK
- R = RADIUS
- CA = CENTRAL ANGLE
- A = ARC LENGTH
- N:12345.67 = STATE PLANE COORDINATE NORTHING
- E:12345.67 = STATE PLANE COORDINATE EASTING
- R/W = RIGHT-OF-WAY
- PG = PAGE
- F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION
- R.M.B. = RIGHT-OF-WAY MAP BOOK



- LEGEND**
- CONCRETE
 - ASPHALT PAVEMENT
 - PAVERS
 - ELEVATION
 - OVERHEAD WIRES
 - UNDERGROUND STORM SEWER LINE
 - UNDERGROUND SANITARY SEWER LINE
 - NON-VEHICULAR ACCESS LINE
 - CENTERLINE
 - O.R.B. OFFICIAL RECORDS BOOK
 - P.B. PLAT BOOK
 - PG. PAGE
 - B.C.R. BROWARD COUNTY RECORDS
 - D.C.R. MIAMI-DADE COUNTY RECORDS
 - TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
 - 1/4 CORNER
 - R= RADIUS
 - CA= CENTRAL ANGLE
 - A= ARC
 - PALM TREE
 - OAK TREE
 - UNIDENTIFIED TREE



LEGAL DESCRIPTION:
 A PORTION OF THE SOUTH 185 FEET OF THE EAST 185 FEET OF TRACT B, AS MEASURED ALONG THE EAST AND SOUTH LINES OF SAID TRACT B, OF FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION NO. 1, IN SECTION 1, TOWNSHIP 50 SOUTH, RANGE 41 EAST, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 17, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHEAST CORNER OF TRACT B, "MARIN SUBDIVISION NUMBER ONE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 70, PAGE 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE NORTH 02°24'36" WEST ON THE EAST LINE OF SAID TRACT B ALSO BEING THE WEST LINE OF THE EAST 185 FEET OF SAID TRACT B AS MEASURED ALONG THE SOUTH LINE 175.00 FEET TO THE NORTHEAST CORNER OF SAID TRACT B ALSO BEING A POINT ON THE SOUTH LINE OF TRACT A OF "MARIN SUBDIVISION NUMBER ONE"; THENCE NORTH ON SAID SOUTH LINE ALSO BEING THE NORTH LINE OF THE SOUTH 185 FEET OF SAID TRACT B, AS MEASURED ALONG THE EAST LINE 149.99 FEET TO THE SOUTHEAST CORNER OF SAID TRACT A, "MARIN SUBDIVISION NUMBER ONE"; SAID POINT BEING ON THE WEST RIGHT-OF-WAY LINE OF STATE ROAD NO. 7 (U.S. HIGHWAY NO. 441) PER RESOLUTION NO. 4-1-65 RECORDED IN DEED BOOK 211, PAGE 87, OF SAID PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE SOUTH 02°24'36" EAST ON SAID WEST RIGHT-OF-WAY LINE ALSO BEING THE WEST LINE OF THE EAST 35.00 FEET OF SAID TRACT B FOR 149.19 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHWESTERLY; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 25,000 FEET, A CENTRAL ANGLE OF 91°53'19", FOR AN ARC LENGTH OF 40.09 FEET TO A POINT OF TANGENCY ON THE NORTH LINE OF THE SOUTH 10.00 FEET OF SAID TRACT B AND THE NORTH RIGHT-OF-WAY LINE OF NW 5TH STREET; THENCE SOUTH 89°28'42" WEST ON SAID NORTH LINE AND SAID NORTH RIGHT-OF-WAY LINE 124.15 FEET TO THE POINT OF BEGINNING.

- NOTES:**
- 1) THIS SITE CONTAINS 76,090 SQUARE FEET (0.5989 ACRES) MORE OR LESS.
 - 2) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK: 0368; ELEVATION: 8.949 FEET.
 - 3) FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; COMMUNITY: 120054; PANEL: 12011C0364H; MAP DATE: 8/18/14.
 - 4) THIS SITE IS IN SECTION 1, TOWNSHIP 50 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.
 - 5) BEARINGS ARE BASED ON AN ASSUMED MERIDIAN WITH THE WEST RIGHT-OF-WAY LINE OF NORTH STATE ROAD NO. 7 BEING S02°24'36" E.
 - 6) REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
 - 7) THIS SURVEY IS CERTIFIED EXCLUSIVELY TO: APEC.
 - 8) THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.2'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.1'.
 - 9) THIS SITE CONTAINS 9 TOTAL PARKING SPACES (8 REGULAR & 1 DISABLED).
 - 10) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A COMMITMENT FOR TITLE INSURANCE. ONLY PLATS OR KNOWN EASEMENTS ARE DEPICTED HEREON.
 - 11) ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS, UNLESS OTHERWISE NOTED.

CERTIFICATION:
 I HEREBY CERTIFY THAT THIS SKETCH OF SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES ("DOACS") CHAPTER SJ-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR A DIGITAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
 John F. Pulice
 State of Florida

NO.	REVISIONS	BY
1	#2974 ORIGINAL SURVEY 05/22/17	B.F.
2	#3461 UPD. SURVEY 4/22/20	M.D.
3	#7885 UPDATE SURVEY 10/18/20	J.F.P.
4	#7885 UPDATE SURVEY 10/18/20	J.F.P.

BOUNDARY AND TOPOGRAPHIC SURVEY

PULICE LAND SURVEYORS, INC.
 5381 NOB HILL ROAD
 SUNRISE, FLORIDA 33351
 TELEPHONE: (954) 572-1777
 FAX: (954) 572-1778
 E-MAIL: survey@pulicelandsurveyors.com
 WEBSITE: www.pulicelandsurveyors.com
 CERTIFICATE OF AUTHORIZATION LB#3870

PLS

DRAWN BY: B.E. SCALE: 1" = 20'
 CHECKED BY: J.F.P. SURVEY DATE: 10/18/20 FILE: APEC
 ORDER NO: 67865

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