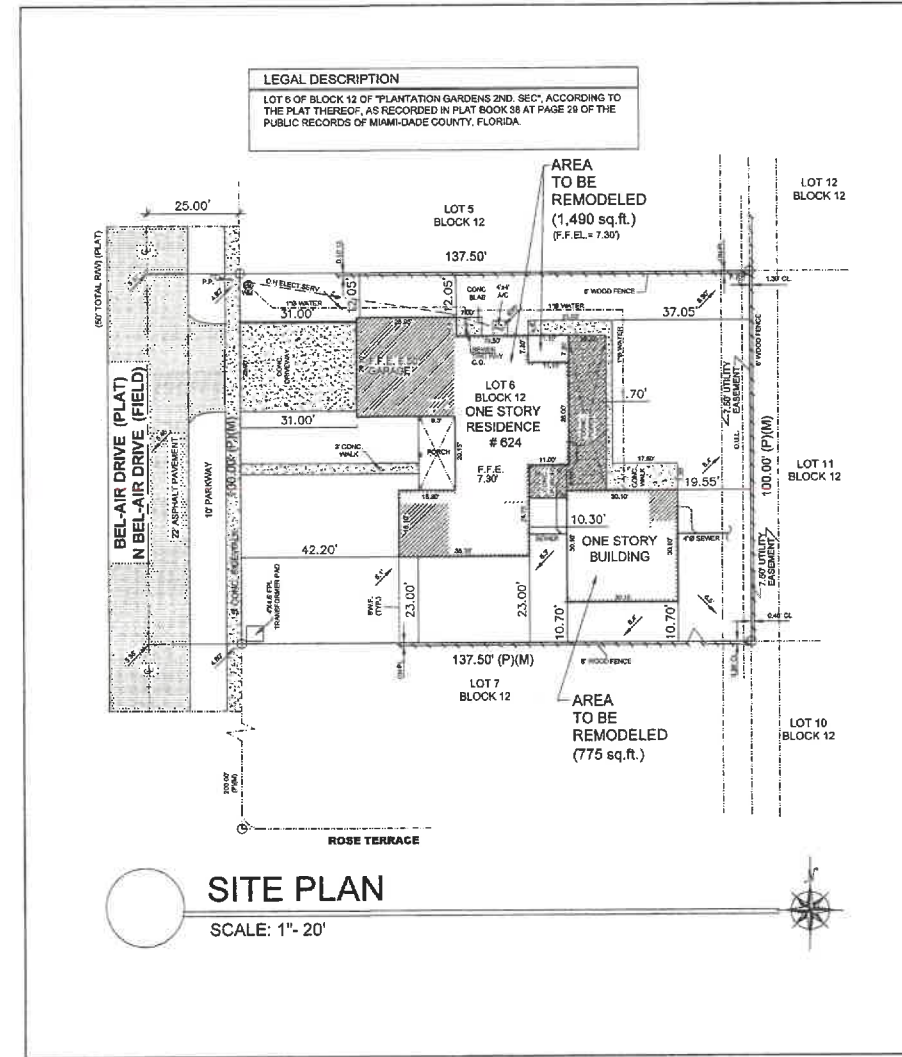


DEMOLITION NOTES

- GENERAL:
 - CONTRACTOR TO PROVIDE PERMITS AND NOTICES AUTHORIZING DEMOLITION.
 - CONTRACTOR TO PROVIDE PERMIT FOR TRANSPORT AND DISPOSAL OF DEBRIS.
 - CONTRACTOR SHALL SUBMIT A SCHEDULE FOR DEMOLITION PROCEDURES AND SEQUENCE OPERATIONAL.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE AND SHALL BE RESPONSIBLE FOR DAMAGE OR INJURY RELATED TO ANY PORTION OF THE WORK.
 - CONTRACTOR SHALL CEASE OPERATIONS AND NOTIFY THE ENGINEER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATION UNTIL SAFETY IS RESTORED.
- CONTRACTOR TO VERIFY ALL STRUCTURAL CONDITION AND IDENTIFY AND CAP ALL UTILITIES EXISTING IN THE CONSTRUCTION AREA BEFORE COMMENCING WITH DEMOLITION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- PERFORM WORK IN SAFE AND CAUTIOUS MANNER TO AVOID ACCIDENTS OR PROPERTY DAMAGE.
- CONTRACTOR IS TO USE ADEQUATE MEANS AND METHODS OF DEMOLITION AND REMOVAL FOR THE TYPE OF WORK PERFORMED. CONTRACTOR SHALL PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL COORDINATE WITH OWNER OR OWNER'S REPRESENTATIVE REGARDING THE TEMPORARY STORAGE OF EQUIPMENT AND MATERIALS DURING CONSTRUCTION.
- ALL FINISHES AND SURFACES NOT IDENTIFIED FOR DEMOLITION TO WHICH ARE DAMAGED DURING DEMOLITION AND NEW CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO OWNER. PREVENT DAMAGE TO ADJOINING STRUCTURES AND OWNER'S SALVAGED PROPERTY DURING DEMOLITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CONTAINERIZED DEBRIS SERVICE FOR REMOVAL OF ALL DEBRIS FROM ALL TRADES AND ALL WORK RELATING TO THE PROJECT.
- ALL ITEMS IDENTIFIED AS DEMOLITION AND/OR REMOVAL SHALL BE PROPERLY DISPOSED OF BY CONTRACTOR. REMOVAL, DISPOSAL AND DEMOLITION OF HAZARDOUS MATERIALS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES, RULES AND REGULATIONS. REMOVAL AND DEMOLITION OF HAZARDOUS MATERIALS SHALL BE PERFORMED BY COMPANY LICENSED AND QUALIFIED TO DO SO.
- ALL BUILDING CONSTRUCTION AFFECTED BY THE REMOVAL, RELOCATION, INSTALLATION OF ANY PIECE OF EQUIPMENT SHALL BE REPAIRED AND FINISHED AS REQUIRED TO MATCH EXISTING CONDITION WHEN REMOVING ABANDONED PIPES AND ELECTRICAL FIXTURES OR RECEPTACLES REROUTE OR CAP LINES AS INDICATED ON THE CONTRACT DRAWINGS OR AS NECESSARY FOR NEW WORK WITHOUT AFFECTING NORMAL.
- REMOVE ALL DEMOLITION MATERIALS, DEBRIS, AND RUBBISH FROM SITE IMMEDIATELY ON COMPLETION OF DEMOLITION WORK. DO NOT PERMIT ANY ACCUMULATION OF DEBRIS ON SITE. TRANSPORT ALL DEMOLITION MATERIALS WITHOUT SPILLAGE ON STREETS. LEAVE SITE NEAT AND ORDERLY ON COMPLETION OF DEMOLITION WORK.
- PREVENT DAMAGE TO OVERHEAD WIRES, UNDERGROUND CABLES, TELEPHONE, WATER, AND SEWER LINES DURING DEMOLITION. CONTRACTOR TO COORD. UTILITIES TO VERIFY THE LOCATION OF ALL UNDERGROUND AND OVERHEAD LINES.
- SHORE STRUCTURE AS REQUIRED TO PREVENT STRUCTURAL DAMAGE OR COLLAPSE. REMOVE FINISHES FIRST IN ORDER TO ASCERTAIN WHICH ITEMS ARE OF A STRUCTURAL NATURE. CONTRACTOR SHALL PROVIDE AN ADEQUATE SHORING PLAN.
- ELECTRICAL LINES, PIPES AND STRUCTURES MAY EXIST WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING LINES BEFORE THE BEGINNING OF THE CONSTRUCTION. REPORTING ANY CONFLICT TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES. THE CONTRACTOR IS TO PROTECT UNDERGROUND UTILITIES DURING CONSTRUCTION AT ALL TIMES. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY COMPANY AT LEAST 48 HOURS IN ADVANCE OF ANY EXCAVATION NEAR OR AROUND THEIR FACILITY SO THAT A COMPANY REPRESENTATIVE CAN BE PRESENT.
- WHEN ELECTRICAL DEVICES ARE INSTALLED IN PARTITIONS OR CEILINGS TO BE REMOVED, THE CONTRACTOR SHALL DISCONNECT THEM UP TO THE NEXT OUTLET TO REMAIN OR BACK TO THE PANEL BOARD. IF EXISTING TO REMAIN OUTLETS ARE FED THROUGH DEMOLISHED PARTITIONS OR CEILINGS, THE CIRCUIT SHALL BE REARRANGED TO MAINTAIN CIRCUIT CONTINUITY. WIRES SHALL BE REMOVED BACK TO SOURCE FROM INACCESSIBLE RACEWAYS NOT REUSED. INSTALL BLANK PLATES ON FLUSH OUTLETS NOT REUSED. PLATE COLOR SHALL MATCH ADJACENT SURFACE AS NEAR AS POSSIBLE IN FINISHED AREAS.
- SALVAGED MATERIALS SHALL BE REMOVED, CLEANED, AND PREPARED FOR RE-INSTALLATION. OWNER MAINTAINS OWNERSHIP OF ALL MATERIALS UNLESS OTHERWISE SPECIFIED.
- WHERE DEMOLITION WORK REQUIRES TEMPORARY INTERRUPTION OF ELECTRICAL, TELEPHONE, TV, ALARM OR COMMUNICATION SERVICES, RESPECTIVE UTILITIES COMPANY REPRESENTATIVES SHALL BE NOTIFIED AS NECESSARY, AND ALL WORK DONE SHALL BE UNDER SUPERVISION AND THEIR ESTABLISHED STANDARDS.
- ALL LIGHTING FIXTURES, RECEPTACLES, SWITCHES, WIRING DEVICES, OUTLETS, TELEPHONE CABLES, TV CABLES, SPECIAL MISCELLANEOUS SYSTEM WIRING, POWER CONDUCTORS, CONDUITS, ELECTRICAL BOXES, RACEWAYS AND ANY OTHER ELECTRICAL SYSTEM COMPONENTS LOCATED IN THE AREAS SHOWN AS BEING DEMOLISHED OR NOT USED AFTER WORK IS COMPLETED SHALL BE REMOVED UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN OR BE RELOCATED. CONDUITS RUNNING IN SLAB AT FINISHED AREAS SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER CONDUCTORS ARE REMOVED. NO WIRING SHALL BE LEFT ABANDONED AFTER WORK IS COMPLETED.

ZONING INFORMATION	
NET LOT AREA	13,750 SQ.FT.
HOUSE AREA	2,588 SQ.FT.
GUEST HOUSE AREA	906.01 SQ.FT.
PORCH AREA	214.80 SQ.FT.
TERRACE AREA	529 SQ.FT.
TOTAL BUILDING AREA	4,237.81 SQ.FT.
LOT COVERAGE	30.82%
GREEN AREA	8,268.32 SQ.FT.
	60.13 %
BUILDING HEIGHT	
PRINCIPAL BUILDING	12.11'
GUEST HOUSE	14.10'
SET BACKS: FRONT REAR SIDE(N) SIDE(S)	
PROVIDED:	31' 19.55' 12.05' 10.70'

THE CONSTRUCTION DOCUMENTS
HAVE BEEN PREPARED IN
COMPLIANCE WITH FBC 2020,
7TH EDITION



RUBEN JUAN PULLOL
ARCHITECT, P.A.
A.I.A. #09010468
1727 N.W. 39th TERRACE
MIAMI, FLORIDA 33175
PHONE: (305) 869 - 2155
FAX: (305) 253 - 7258

PROPOSED REMODELING TO RESIDENCE OF
GABRIEL DELGADO
624 NORTH BEL AIR DRIVE
PLANTATION, FL. 33317

REVISIONS

NO.	DATE	DESCRIPTION

DESCRIPTION

Project No.
21-78

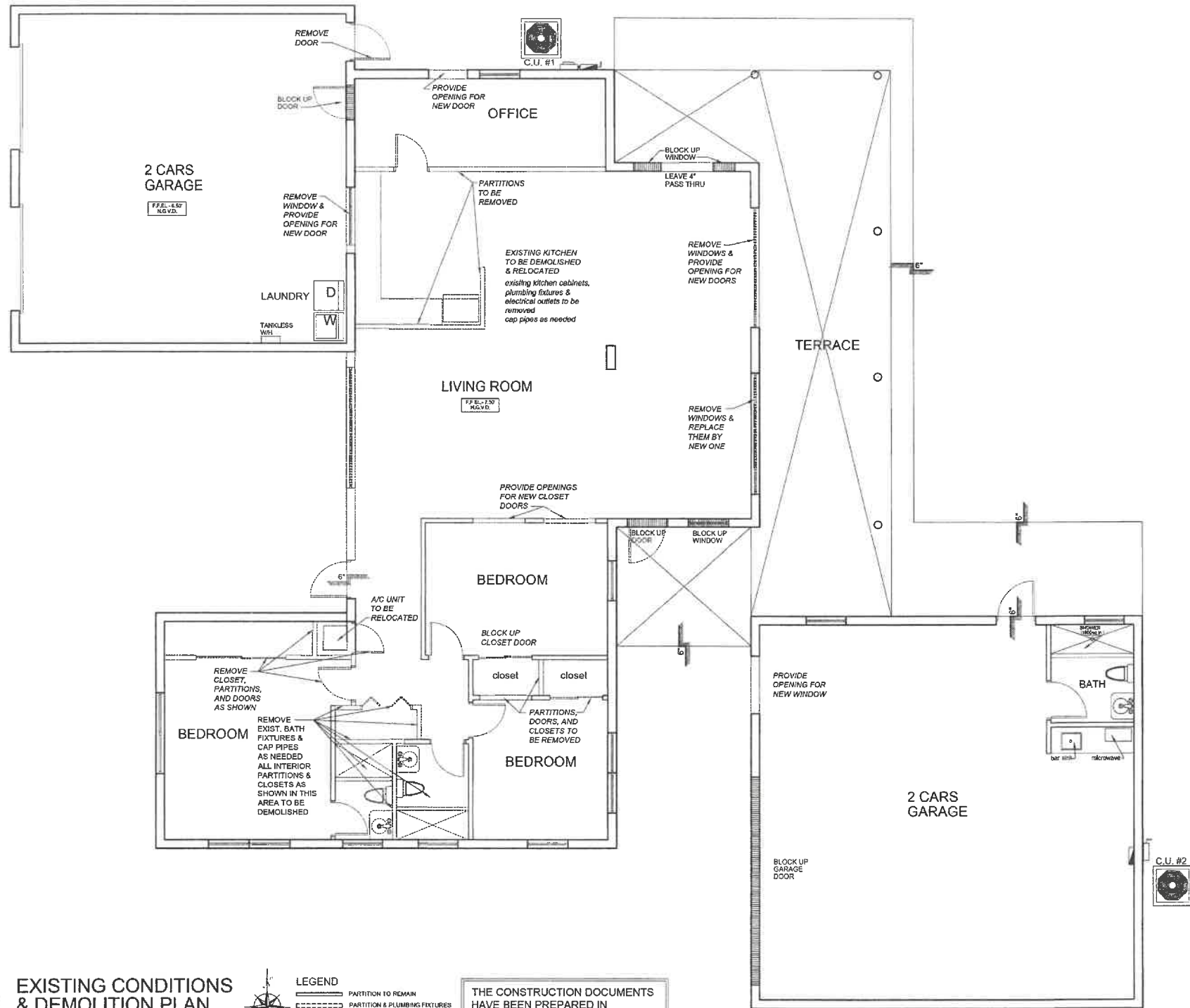
Date:
10-12-21

Drawn By:
PEDRO PUERTO/CBS
305-262-8075

Approved By:
R.P.

SEAL





GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND ANGLES AND ALL OTHER EXISTING CONDITIONS PRIOR TO COMMENCING ANY WORK. CONTRACTOR TO ALSO VERIFY AND APPROVE ALL INFORMATION ON DRAWINGS. ACCEPTANCE OF THESE PLANS CONSTITUTES APPROVAL. PLEASE NOTIFY ARCHITECT BY CERTIFIED MAIL OF ANY CONFLICTS OR DISCREPANCIES, IF ANY.
2. CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN PLUMBNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL OBTAIN FROM ALL SUBCONTRACTORS THE FINAL APPROVED SITE AND LOCATION OF ALL OPENINGS TO BE PROVIDED FOR RESPECTIVE TRADES. HE SHALL BE RESPONSIBLE FOR LOCATION AND DETAILS.
4. ALL CONCRETE FOR FOUNDATIONS & SLABS ON GRADE SHALL REACH 2500 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS, AND ALL COLUMNS, GROUTED CELLS, SLABS ABOVE GRADE AND THE SEAMS SHALL REACH 3000 P.S.I. COMPRESSIVE STRENGTH MINIMUM AT 28 DAYS UNLESS OTHERWISE NOTED.
5. CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR VERIFYING REQUIRED GRADE & FINISHED FLOOR ELEVATIONS WITH RESPECT TO DADE COUNTY FLOOD CRITERIA, EXISTING CROWN OF ROAD ELEVATIONS, FEDERAL FLOOD CRITERIA OR ANY OTHER GOVERNING BODY.
6. OWNER AND CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING, BY CERTIFIED MAIL UPON COMMENCEMENT PROJECT.

PLEASE NOTE - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS

EXISTING CONDITIONS & DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

LEGEND

- Solid line: PARTITION TO REMAIN
- Dashed line: PARTITION & PLUMBING FIXTURES TO BE REMOVED
- Thick solid line: C.S.'S WALL TO REMAIN

THE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN COMPLIANCE WITH FBC 2020, 7TH EDITION

RUBEN JUAN PUJOL
ARCHITECT, P.A.
A.I.A. AR#0010458
12237 SW 204 TERRACE
MIAMI, FLORIDA 33177
PHONE: (305) 968 - 2155
FAX: (305) 253 - 7258

PROPOSED REMODELING TO RESIDENCE OF
GABRIEL DELGADO
624 NORTH BEL-AIR DRIVE
PLANTATION, FL. 33317

REVISIONS

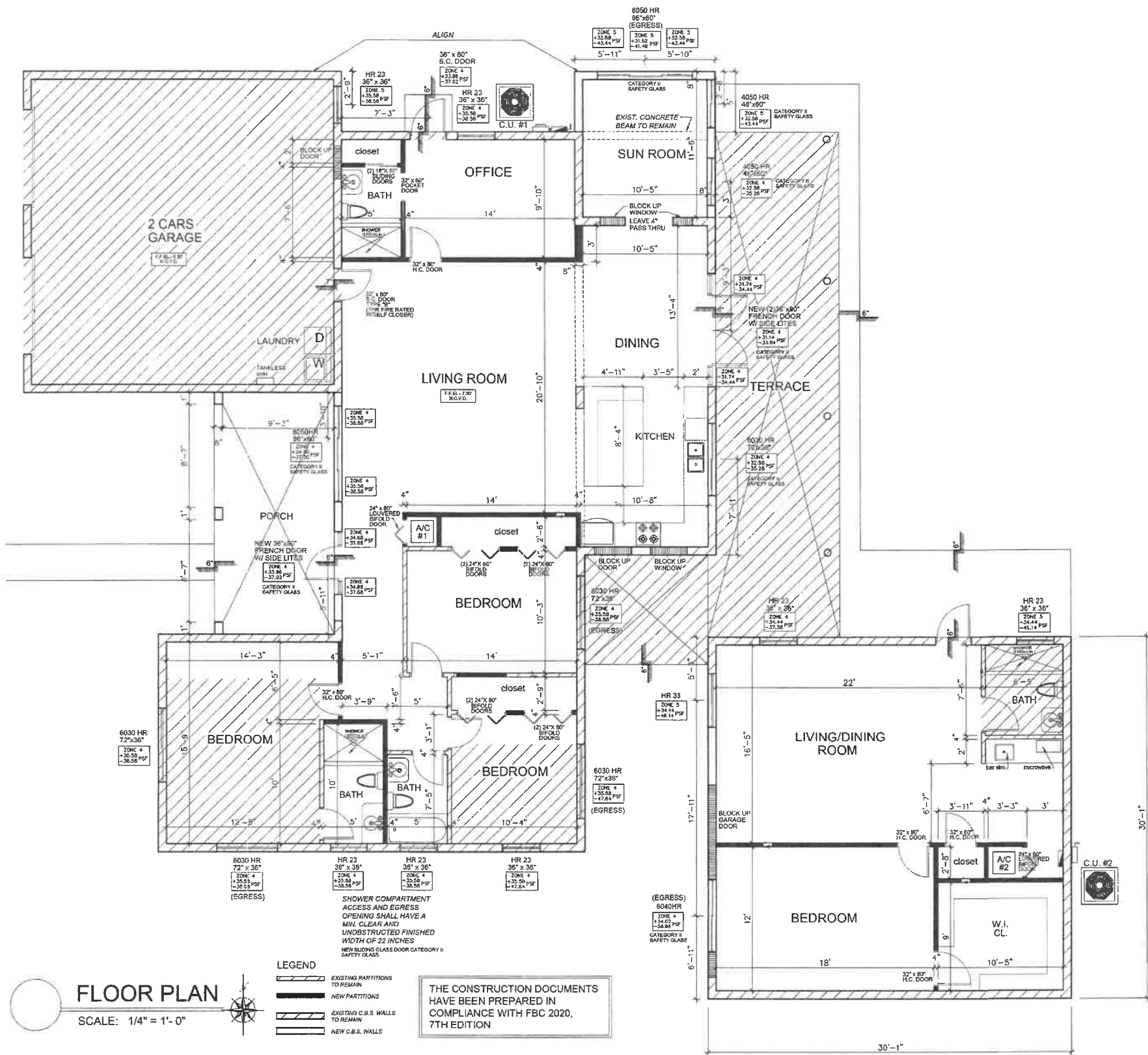
NO.	DATE	DESCRIPTION

DESCRIPTION

Project No. 21-78
Date: 10-12-21
Drawn By: PEDRO PUERTO/CBS 305-262-8075
Approved By: R.P. SEAL

STATE OF FLORIDA
RUBEN J. PUJOL
ARCHITECT, P.A.
12237 SW 204 TERRACE
MIAMI, FLORIDA 33177
REGISTERED PROFESSIONAL ARCHITECT

A-2



FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- EXISTING PARTITIONS TO REMAIN
- NEW PARTITIONS
- EXISTING C.B.S. WALLS TO REMAIN
- NEW C.B.S. WALLS

ACCESS AND EGRESS OPENING SHALL HAVE A MIN. CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF 22 INCHES
NEW SLUING GLASS DOOR CATEGORY II SAFETY GLASS

THE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN COMPLIANCE WITH FBC 2020, 7TH EDITION

TERMITE PROTECTION

THE BUILDING MUST HAVE A PRE-CONSTRUCTION TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY WHICH CONTAINS THE FOLLOWING STATEMENT:
"THIS BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUB-TERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES"

SOIL STATEMENT:

SOIL CONDITION AT SITE BY VISUAL INSPECTION INDICATES AN ALLOWABLE BEARING CAPACITY OF 2,000 P.S.F. (UNDISTURBED SAND AND/OR ROCK).
PRIOR TO THE INSTALLATION OF ANY FOOTING FOUNDATION SYSTEM FOR NEW BUILDINGS, STRUCTURES OR ADDITIONS THE BUILDING OFFICIAL SHALL BE PROVIDED WITH A STATEMENT FROM AN ARCHITECT OR ENGINEER TO CERTIFY THE PRESUMPTIVE SOIL BEARING CAPACITY.

SOIL COMPACTION

SOIL SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF MODIFIED PROCTOR IN ACCORDANCE WITH A.S.T.M. D-1557 AND COMPACTED AND TESTED IN LIFTS NOT TO EXCEED 12 INCHES.

RADON RESISTANCE

PROVIDE 6 MIL VAPOR BARRIER AT CONCRETE SLAB

SOIL PREPARATION:

THE AREA UNDER FOOTING, FOUNDATIONS AND CONCRETE SLAB ON GRADE SHALL HAVE ALL VEGETATION, STUMPS, ROOTS AND FOREIGN MATERIALS REMOVED PRIOR TO THEIR CONSTRUCTION. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL.

DEFAULT TINTED WINDOW W/A SHGC = 0.35
U FACTOR = 1.40
PROGRAMABLE THERMOSTAT

RUBEN JUAN PUJOL
ARCHITECT, P.A.
A.L.A. #A0010458
12297 SW 204 TERRACE
MIAMI, FLORIDA 33177
PHONE: (305) 869-2155
FAX: (305) 253-7258

PROPOSED REMODELING TO RESIDENCE OF
GABRIEL DELGADO
624 NORTH BEL AIR DRIVE
PLANTATION, FL. 33317

REVISIONS

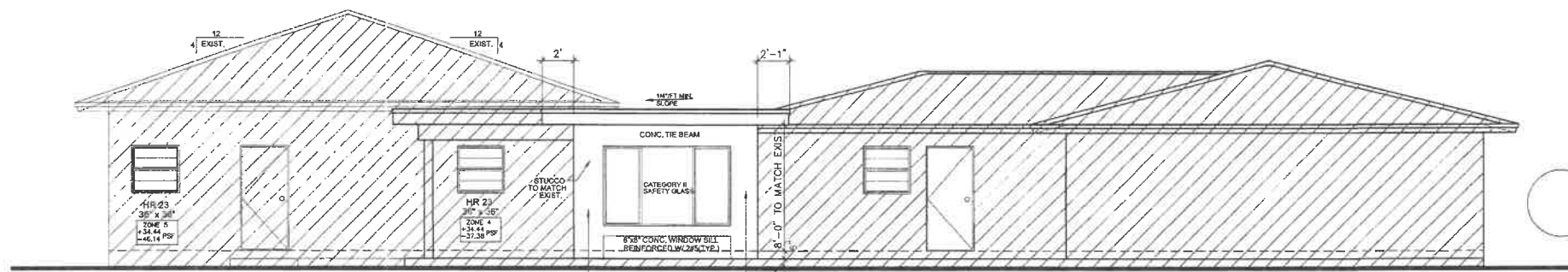
NO.	DATE	DESCRIPTION

DESCRIPTION

Project No. 21-78
Date: 10-12-21
Drawn By: PEDRO PUERTOCABES 305-282-8075
Approved By: R.P.

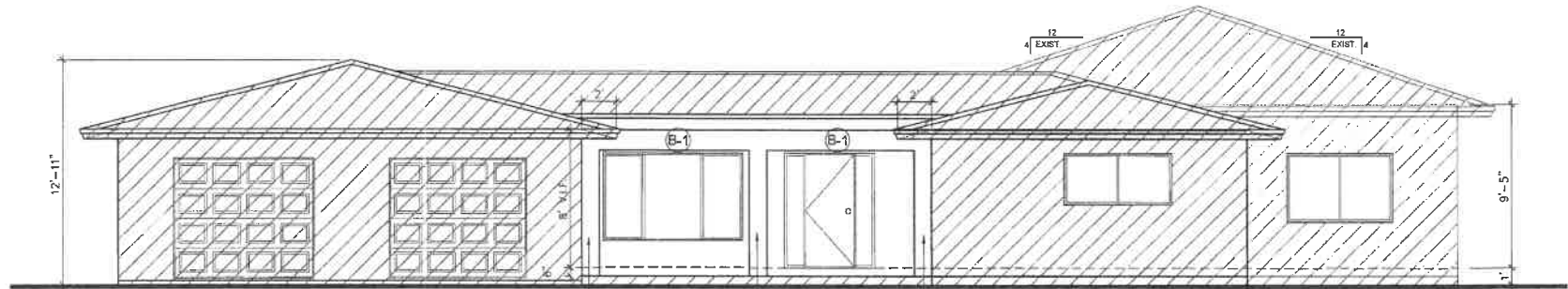


SHEET NO. **A-3**



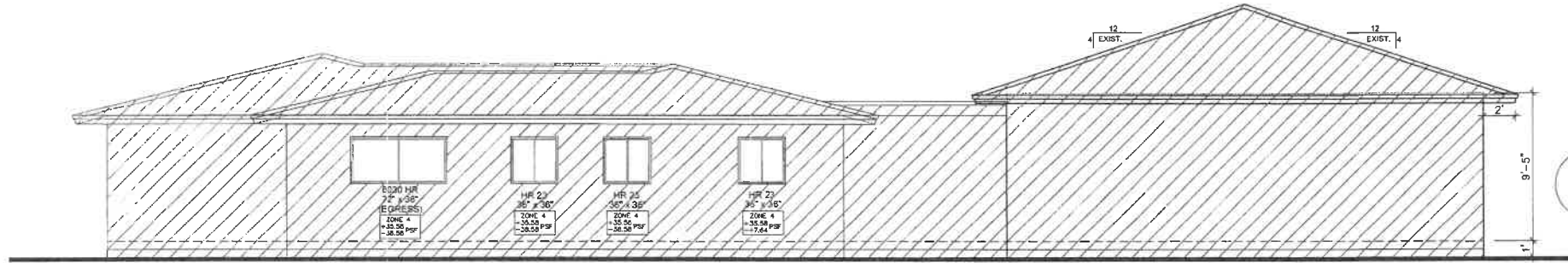
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



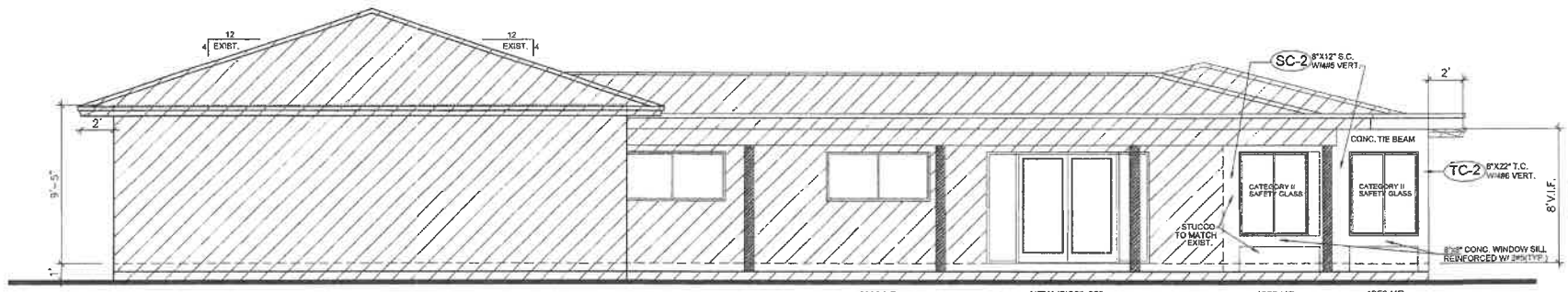
WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

DEFAULT TINTED WINDOW W/ SHGC = 0.35
U FACTOR = 1.40
PROGRAMMABLE THERMOSTAT

THE CONSTRUCTION DOCUMENTS
HAVE BEEN PREPARED IN
COMPLIANCE WITH FBC 2020,
7TH EDITION

RUBEN JUAN PUJOL
ARCHITECT, P.A.
A.I.A. AR#0010458
12237 S.W. 204 TERRACE
MIAMI, FLORIDA 33177
PHONE: (305) 968-2155
FAX: (305) 253-7288

PROPOSED REMODELING TO RESIDENCE OF
GABRIEL DELGADO
624 NORTH BEL AIR DRIVE
PLANTATION, FL. 33317

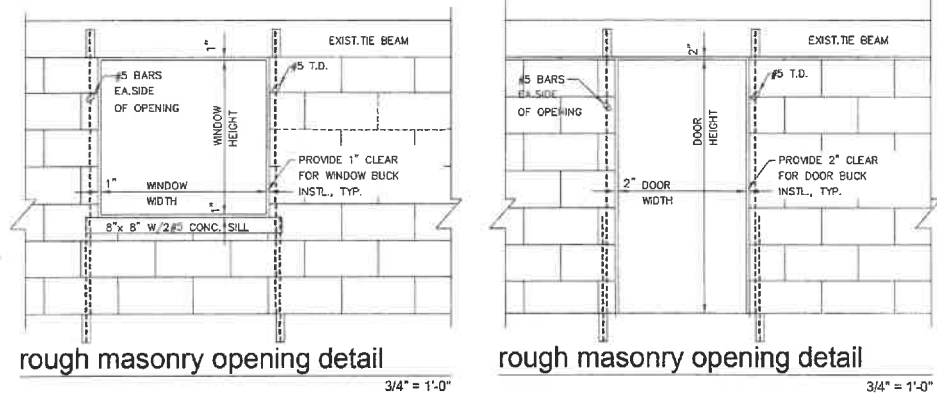
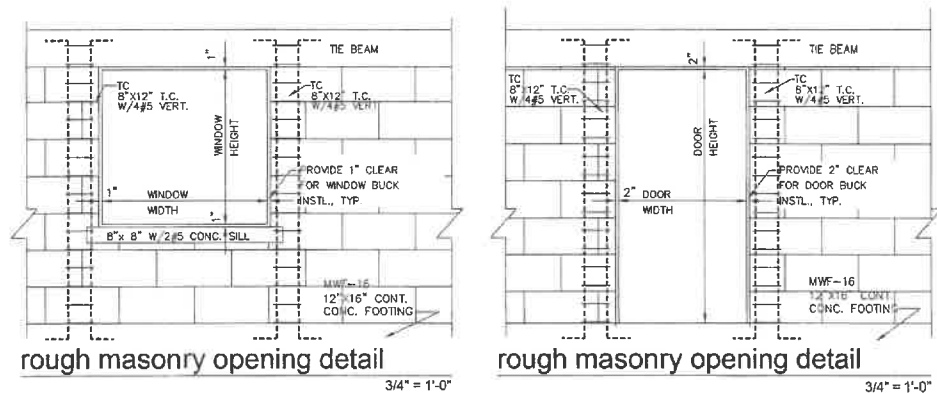
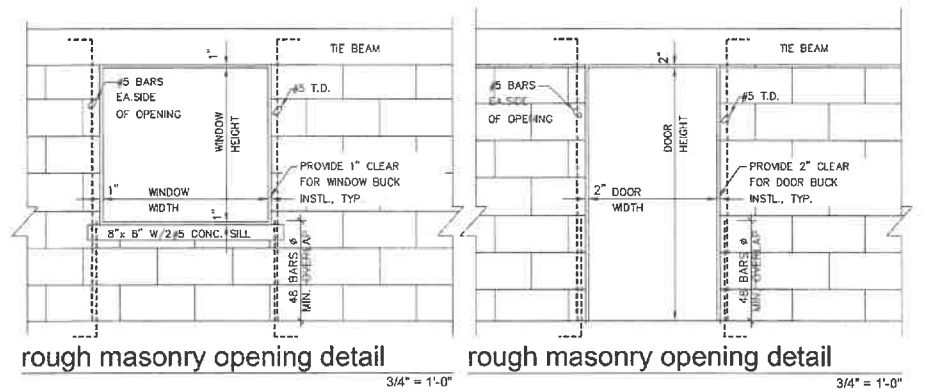
THESE DRAWINGS AND DESIGN ARE THE PROPERTY
OF RUBEN JUAN PUJOL ARCHITECT, P.A. AND SHALL
NOT BE REPRODUCED WITHOUT WRITTEN CONSENT

REVISIONS

NO.	DATE	DESCRIPTION

DESCRIPTION

Project No.	21-76
Date:	10-12-21
Drawn By:	PEDRO PUERTOCABAS 305-282-8075
Approved By:	R.P.
SEAL	
STATE OF FLORIDA	
REGISTERED ARCHITECT	
SHEET NO.	A-4



INTRUSION & BURGLARY SECURITY NOTE:

ALL EXTERIOR DOORS SHALL BE PROVIDED WITH CYLINDRICAL TYPE LOCK SETS, LATCH BOLT BY KNOBS, LATCH BOLT DEAD-LOCKED WHEN DOOR CLOSED. KEY OPERATED FROM OUTSIDE WITH PRIVACY TURN BOTTOM FOR LOCKING OUTER KNOB WHICH IS NOT AUTOMATICALLY RELEASED. CAPABLE OF RESISTING A FORCE OF 300 LBS. IN ANY MOVABLE DIRECTION. MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH DEAD BOLT KEY OPERATED FROM OUTSIDE AND BY TURN KNOBS FROM INSIDE OTHER EXTERIOR DOORS TO BE PROVIDED WITH INTERIOR SINGLE DEAD BOLT ALL TO BE 1" MIN. THRUST AND OF HARDENED OR CONTAIN INSERTS. AT DOUBLE DOORS SECOND DOOR SHALL BE PROVIDED WITH HAND BOLT TOP AND BOTTOM. DOORS TO BE MOUNTED ON 1 1/2" PAIR OF HINGES WITH NON-EXPOSED SCREWS AND NON-REMOVABLE PINS BY SET SCREW IN BARREL. MAIN ENTRANCE DOORS TO HAVE DOOR SCOPE PERMITTING INSIDE VIEWER A 180 DEGREE OBSERVATION ANGLE OF OUTSIDE WHEN DOOR CLOSED. HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON-REMOVABLE PINS. GLASS IN EXTERIOR OUT DOORS AND ALL GLAZING WITHIN 48" OF INSIDE LOCKING DEVICE OF DOOR SHALL COMPLY WITH A N.S.I. 297.1. INTERIOR DOORS TO HAVE CYLINDRICAL TYPE LOCK SETS WITH PRIVACY LOCK BY INSIDE PUSH BOTTOM WHICH AUTOMATICALLY OPENS BY TURN OR BY CLOSING. EXTERIOR SLIDING DOORS SHALL BE PROVIDED WITH TEMPERED GLASS AS SET FORTH BY AMERICAN NATIONAL STANDARDS, INSTITUTES STANDARD 297. SLIDING GLASS DOOR CONSTRUCTED AND INSTALLED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACK WHEN IN LOCK POSITION, ACCORDING TO ALUM. ASSOC. STANDARD FOR FORCE-ENTRY RESISTANCE AAMA 1303.3. ADDITIONAL TO THE MANUF. LOCK PROVIDE DEAD BOLTS AT MEETING MULLIONS. ALL WINDOWS, AWNING, SINGLE HUNG OR HORIZONTAL SLIDING SHALL BE PROVIDED WITH A LOCKING DEVICE CAPABLE OF WITHSTANDING A FORCE OF 150 LBS. APPLIED IN ANY OPERABLE DIRECTION, OR AS SPECIFIED IN THE PAN AMERICAN FORCE AWNING TYPE 49 389 F. WINDOW FRAMES SHALL BE CONSTRUCTED SO THAT WHEN FIXED OR LOCKED THEY CANNOT BE REMOVED FROM THE OUTSIDE. OVERHEAD LOADING DOORS SHALL BE PROVIDED WITH MULTIPLE POINT LOCKS OR BE LOCKED AT MORE THAN ONE POINT WITH HARDENED BOLTS WITH INSERTS ENGAGING AT LEAST TWO OPPOSITE POINTS A MIN. 58".

DOORS NOTE:

EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE CLOSET. EVERY BATHROOM DOOR SHALL BE DESIGNED TO ALLOW OPENING FROM THE OUTSIDE DURING AN EMERGENCY WHEN LOCKED. INTERIOR DOORS TO HAVE CYLINDRICAL TYPE LOCK SETS WITH PRIVACY LOCK BY INSIDE PUSH BOTTOM WHICH AUTOMATICALLY OPENS BY TURN OR BY CLOSING.

SPECIAL NOTES:

ALL BATHROOMS SHALL HAVE TILE FLOOR & BASE OR OTHER APPROVED IMPERVIOUS MATERIAL UNTIL 72" HIGH AT WALLS TO COMPLY W/ R307.2. ALL WINDOWS WITHIN 12" OF ALL DOORS SHALL BE SAFETY GLASS AT ALL TUB & SHOWER ENCLOSURES. PROVIDE THRESHOLD & WEATHER STRIPS AT ALL EXTERIOR DOORS. PROVIDE STORM SHUTTER PROTECTION AT ALL EXTERIOR DOORS W/ GLASS & ALL WINDOWS.

NOTE:

WINDOW AND FRENCH GLASS DOOR INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS SET FORTH IN THE APPROVED PRODUCT CONTROL APPROVAL.

EGRESS TYPE WINDOW NOTES:

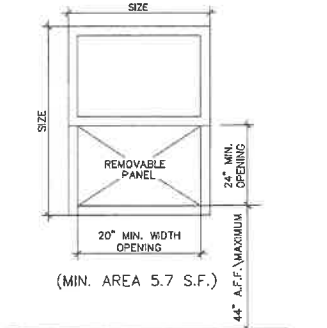
WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE WINDOW OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. NO PART OF THE OPERATING MECHANISM SHALL BE HIGHER THAN 54" OFF THE FLOOR.

EGRESS DOOR NOTE:

ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

WINDOWS AND DOORS NOTE: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF ALL OPENINGS FOR DOORS AND WINDOWS, AND ALL OTHERS EXISTING CONDITIONS PRIOR TO COMMENCING ANY WORK OR ORDERING TO THE FACTORY CONTRACTOR. TO ALSO VERIFY AND APPROVE ALL INFORMATION ON DRAWINGS. ACCEPTANCE OF THESE PLANS CONSTITUTES APPROVAL. PLEASE, NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.

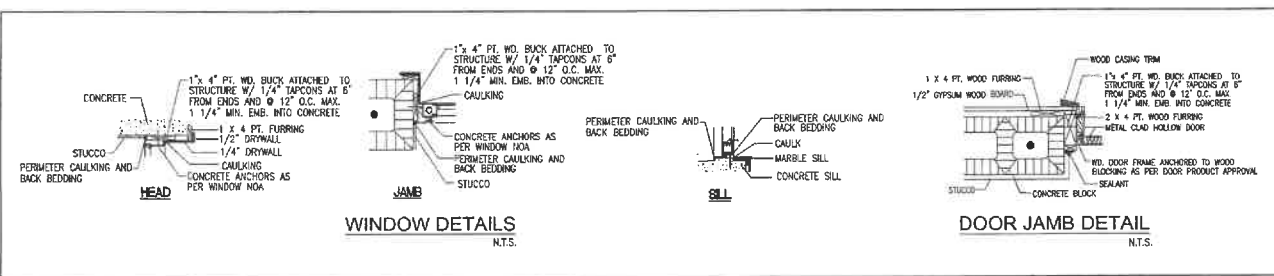
THE MODE OF OPERATION SHALL NOT REQUIRE A KEY. TOOL SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING AND NO PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 54" A.F.F.



DETAIL OF EGRESS WINDOW
N.T.S.

NOTE: ALL WINDOWS, DOORS AND/OR ANY OTHER COMPONENTS INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS SET FORTH IN THE APPROVED-PRODUCT CONTROL APPROVAL.

DEFAULT TINTED WINDOW W/IA SHGC = 0.35
U FACTOR = 1.40
PROGRAMMABLE THERMOSTAT



RUBEN JUAN PUJOL
ARCHITECT, P.A.
A.I.A. AR#010458
12237 S.W. 204 TERRACE
MIAMI FLORIDA 33177
PHONE: (305) 866-2155
FAX: (305) 253-7289

PROPOSED REMODELING TO RESIDENCE OF
GABRIEL DELGADO
624 NORTH BEL AIR DRIVE
PLANTATION, FL. 33317

REVISIONS

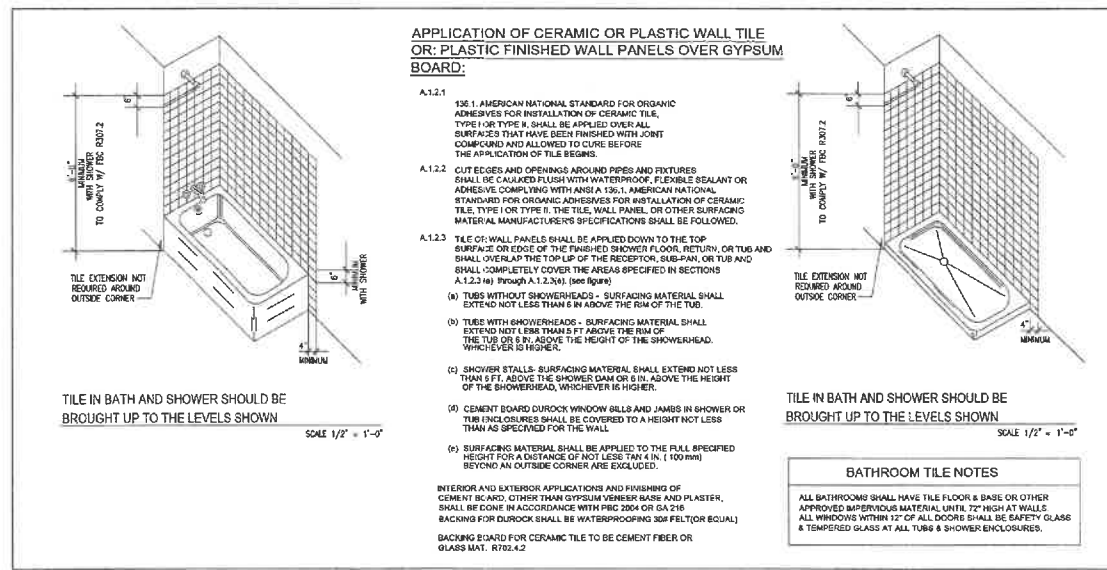
NO.	DESCRIPTION

DESCRIPTION

Project No. 21-76
Date: 10-12-21
Drawn By: PEDRO PUERTO/CBS
305-262-8075
Approved By: R.P.

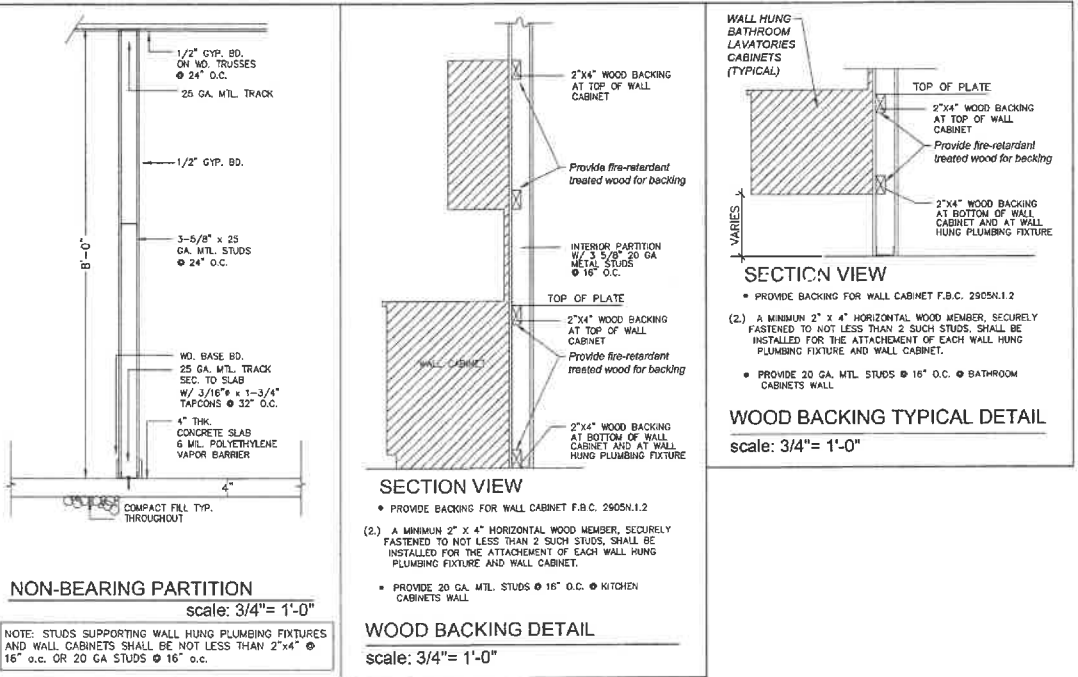
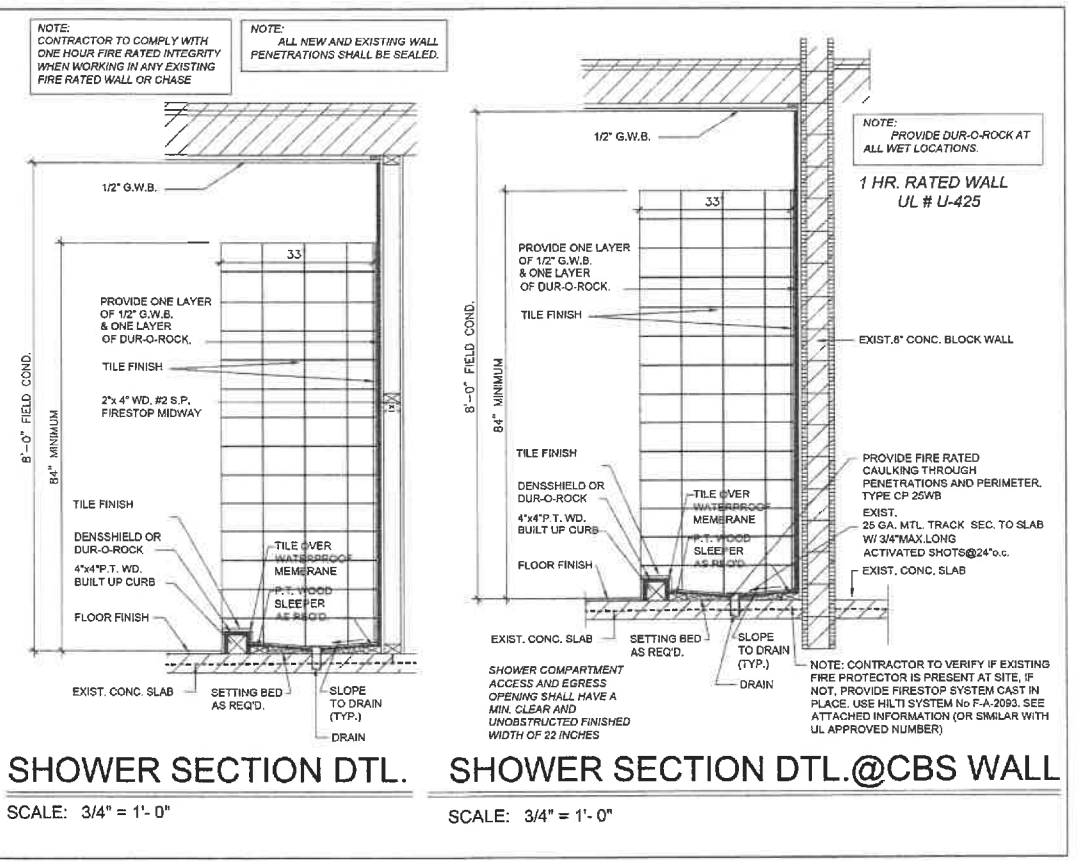


SHEET NO. **A-5**



BATHROOM TILE NOTES

ALL BATHROOMS SHALL HAVE TILE FLOOR & BASE OR OTHER APPROVED IMPERMEABLE MATERIAL UNTIL 12" HIGH AT WALLS. ALL WINDOWS WITHIN 12" OF ALL DOORS SHALL BE SAFETY GLASS & TEMPERED GLASS AT ALL TUBS & SHOWER ENCLOSURES.



RUBEN JUAN PUJOL
ARCHITECT, P.A.
A.I.A. AR00010458
12237 S.W. 204 TERRACE
MIAMI FLORIDA 33177
PHONE: (305) 989-2155
FAX: (305) 253-7288

PROPOSED REMODELING TO RESIDENCE OF
GABRIEL DELGADO
624 NORTH BEL AIR DRIVE
PLANTATION, FL. 33317

PROJECT TITLE: _____
ADDRESS: _____

THESE DIMENSIONS AND DETAILS ARE THE PREP DRAWING. THEY MAY BE REPRODUCED WITHOUT HIS WRITTEN CONSENT.

REVISIONS

NO.	DESCRIPTION

DESCRIPTION

Project No. 21-76
Date: 10-12-21
Drawn By: PEDRO PUERTOCABAS 305-262-8076
Approved By: _____

STATE OF FLORIDA
RUBEN J. PUJOL
REGISTERED ARCHITECT
10458

SHEET NO. **A-6**